

AGENDA

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~March 27, 2014 at 7:00 pm

**Place 1 Michelle Stephenson - Vice Chair
Place 2 Joel Wixson
Place 3 Jason Anderson**

**Place 4 Sid Sokol
Place 5 Richard Allen
Place 6 Betty Saenz
Place 7 Jeff Seiler - Chair**

1. Call to Order
2. Roll Call
3. Approval of Minutes:
 - a. Regular Planning & Zoning Meeting: March 13, 2014
4. Director's report to P & Z Commissioners on actions taken by the City Council
5. Citizen Communications - Three (3) minutes of time is allowed, per speaker

Public Hearing

6. Subdivision Case 13-FP-019: Hold a public hearing and consider action on the Sarita Valley Final Plat for 25.61 acres more or less; WCAD Parcel R516398; generally located on the east side of Ronald W. Reagan Blvd, approximately ½ mile from the northeast corner of the intersection of E Crystal Falls Pkwy and Ronald W. Reagan Blvd.; Williamson County, Texas. Applicant/Agent: Brian Parker on behalf of Toll Dallas TX LLC.

- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

7. Zoning Case #14-Z-005: Hold a public hearing and consider action on the rezoning of a tract of land located at 1001 Horizon Park Blvd; 5.69 acres more or less; WCAD Parcel #R036572. Currently, the property is zoned SFU/MH-2-B (Single-Family Urban / Manufactured Home). The property is proposed to be zoned TF-2-B (Two-Family), Leander, Williamson County, Texas. Applicant: Michael and Theresa Kopecky on behalf of Willie and Sue A. Kopecky.

- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

8. Zoning Case 13-Z-028: Hold a public hearing and consider action on the rezoning of several tracts of land located at 2680 CR 268, 17851 Ronald W. Reagan, generally located north of Hero Way, West of Ronald Reagan Blvd. & south of San Gabriel; Legal Description AW0125 Chambers, T. Sur. 197.55 acres more or less; WCAD Parcels #R098020, R031606, R473799, R473798, R473797, R333713, R031617, R031607. Currently, the property is zoned GC-3-C (General Commercial), Interim SFS-2-B (Single-Family Suburban) and Interim SFR-1-B (Single-Family Rural). The property is proposed to be zoned PUD (Planned Unit Development), Leander, Williamson County, Texas. Applicant: Blake J. Magee on behalf of Palmera Ridge Development, Inc. and MP52, LLC.

- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

9. Zoning Case 13-Z-027: Hold a public hearing and consider action on the rezoning of several tracts of land generally located to the Southwest of the intersection of San Gabriel Pkwy & US 183; 150.894 acres more or less; WCAD Parcels #R395875, R031699, R524552, and R525192. Currently, the property is zoned PUD (Planned Unit Development) and the applicant is proposing an amendment to the PUD, Leander, Williamson County, Texas. Applicant: Mark Baker on behalf of Sentinel Cotter Leander LLC.

- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

10. Subdivision Case 13-TOD-S2-PP-001: Hold a public hearing and consider action on the Oak Creek Preliminary Plat for 151.3 acres more or less; WCAD Parcels #R395875, R031699, R524552, and R525192; generally located to the Southwest of the intersection of San Gabriel Pkwy & US 183; Williamson County, Texas. Applicant/Agent: Jim Huffcutt, P.E. on behalf of Sentinel Cotter Leander LLC.

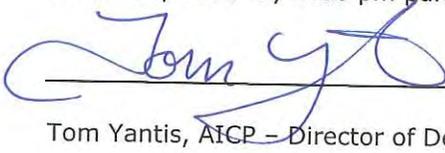
- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

11. Zoning Case 13-Z-025: Hold a public hearing and consider action on the rezoning of a tract of land located on the northwest corner of Osage Drive and Highland Trail; 0.94 acres more or less out of the AW0896 – Morris, J Survey; WCAD Parcel #R484296. Currently, the property is zoned SFU-2-B (Single-Family Urban). The property is proposed to be zoned PUD (Planned Unit Development), Leander, Williamson County, Texas. Applicant: Samuel Kiger, P.E. on behalf of Lookout Development Group LP.

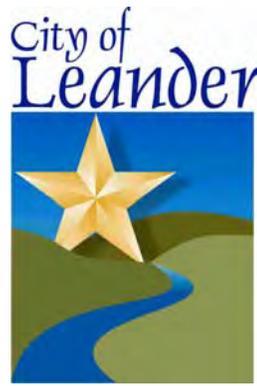
- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

CERTIFICATION

This meeting will be conducted pursuant to the Texas Government Code Section 551. The City of Leander is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please call the City Secretary at 512/ 528-2700 for information. Hearing impaired or speech disabled persons equipped with telecommunications devices for the deaf may call 512/ 528-2800. I certify that the above notice of the Regular Meeting of the Planning and Zoning Commission of the City of Leander, Texas, was posted on the bulletin board at City Hall, in Leander, Texas, on the day of March 21, 2014 by 5:00 pm pursuant to Chapter 551 of the Texas Government Code.



Tom Yantis, AICP – Director of Development Services



Minutes

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~March 13, 2014 at 7:00 pm

**Place 1 Michelle Stephenson - Vice Chair
Place 2 Joel Wixson
Place 3 Jason Anderson**

**Place 4 Sid Sokol
Place 5 Richard Allen
Place 6 Betty Saenz
Place 7 Jeff Seiler - Chair**

1. Call to Order
Meeting called to order at 7:03 pm.
2. Roll Call
All Commissioners were present except Commissioner Stephenson.
3. Approval of Minutes:
 - a. Regular Planning & Zoning Meeting: February 27, 2014
Motion made by Commissioner Sokol to approve the minutes, seconded by Commissioner Allen. Motion passed unanimously.
4. Director's report to P & Z Commissioners on actions taken by the City Council
Tom Yantis, Director of Development Services, reported on actions that were taken by the City Council at their March 6, 2014 meeting, on items that were recommended from the P & Z Commission.
5. Citizen Communications - Three (3) minutes of time is allowed, per speaker
No citizens wished to speak.

Public Hearing

6. Subdivision Case 13-PP-011: Hold a public hearing and consider action on the Fairways at Crystal Falls, Section 6 Preliminary Plat Revision for 50.61 acres more or less; TCAD Parcel #796313; generally located to the southwest of the intersection Cantina Sky Drive and Crystal Falls Parkway, north of the Crystal Falls Golf Course; Travis County, Texas. Applicant/Agent: Samuel Kiger, P.E. on behalf of Lookout Development Group, L.P.

a) Staff Presentation

Robin Griffin, Senior Planner, stated that staff reviewed the request and it has staff approval.

b) Applicant Presentation

Mike Seifert was present for questions.

c) Open Public Hearing

**Chairman Seiler opened the public hearing.
No one wished to speak.**

d) Close Public Hearing

Chairman Seiler closed the public hearing.

e) Discussion

Some discussion took place.

f) Consider Action

Commissioner Wixson moved to approve with staff recommendation, Commissioner Saenz seconded the motion. Motion passed unanimously.

7. Zoning Case #14-Z-004: Hold a public hearing and consider action on the rezoning of two parcels of land located at 409 & 503 Horseshoe Drive for 3.37 acres more or less;. Parcels #R036482 and R036483. Currently, the property is zoned TF-2-B (Two-Family). The property is proposed to be zoned MF-2-B (Multi-Family), Leander, Williamson County, Texas. Applicant: Gary Eli Jones on behalf of Ricky Shipman

a) Staff Presentation

Martin Siwek, Planner, discussed request & surrounding land uses.

b) Applicant Presentation

Gary Jones explained the purpose of the zoning request.

c) Open Public Hearing

**Chairman Seiler opened the public hearing.
No one wished to speak.**

d) Close Public Hearing

Chairman Seiler closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Saenz moved to approve the zoning to MF-2-A with the condition that the density is limited to 15 units per acre, Commissioner Anderson seconded the motion. Motion passed 4 to 2 with Commissioner Wixson and Commissioner Sokol opposing. Commissioner Wixson and Commissioner Sokol were in support of the requested Type B architectural component.

8. Zoning Case #14-Z-003: Hold a public hearing and consider action on the rezoning of a parcel of land located at 1101 CR 177 for 0.40 acres more or less;. Parcel #R031540. Currently, the property is zoned interim SFR-1-B (Single-Family Rural). The property is proposed to be zoned HC-4-D (Heavy Commercial) formerly known as LI-4-D (Light Industrial) Leander, Williamson County, Texas. Applicant: Richard E. & Sharon Kaydean Bott.

a) Staff Presentation

Martin Siwek, Planner, discussed request & surrounding land uses.

b) Applicant Presentation

Richard Bott explained the purpose of the zoning request.

c) Open Public Hearing

**Chairman Seiler opened the public hearing.
Joanne Lattrell spoke against.
Ghassan Yammine spoke against.**

d) Close Public Hearing

Chairman Seiler closed the public hearing.

e) Discussion

Discussion took place

f) Consider Action

Commissioner Wixson moved to deny the zoning request and requested that the applicant return with a proposal that included a buffer strip on the south side of the property, Commissioner Sokol seconded the motion. Motion passed unanimously with Commissioner Anderson abstaining.

9. Zoning Case 13-Z-026: Hold a public hearing and consider action on the rezoning of several parcels of land generally located to the west of Bloody Hollow, abutting FM 1431 on the south and Nameless Road on the west; 2,118.6 acres more or less: Parcels: 186323, 352969, 353024, 353246, 353247, 353650, 382583, 459376, 459380-459395, 459399-459401, 467140-467160, 467162-467187, 467192-467197, 467200-467213, 467215-467217 467219-467228, 467230-467233, 467236-467238, 513803, 513809, 796296, 796297, 796302, 819093, 825510, 827467, 827468. Currently, the property is zoned SFR-2-A (Single-Family Rural), SFR-2-B (Single-Family Rural), SFR-3-B (Single-Family Rural), SFE-2-A (Single-Family Estate), SFS-2-A (Single-Family Suburban), SFS-2-B (Single-Family Suburban), SFU-2-A (Single-Family Urban), SFC-2-A (Single-Family Compact), MF-2-B (Multi-Family), GC-3-A (General Commercial), and GC-3-B (General Commercial). The property is proposed to be zoned PUD (Planned Unit Development); Leander, Travis County, Texas. Applicant: Nancy Stroder (Taylor Morrison) on behalf of TraviSSo, LTD (Taylor Morrison Homes of Texas, Inc).

a) Staff Presentation

Robin Griffin, Senior Planner, discussed request & surrounding land uses.

b) Applicant Presentation

Heath Melton and Nancy Stroder explained the purpose of the zoning request.

c) Open Public Hearing

Chairman Seiler opened the public hearing.

Kevin Keerney spoke against.

Larry Oaks spoke against.

Dan Warner spoke against.

Lanny Clopton spoke against.

Dudy Tobey spoke against.

Myrnz Herbgr spoke against.

d) Close Public Hearing

Chairman Seiler closed the public hearing.

e) Discussion

No discussion took place

f) Consider Action

Commissioner Saenz moved to approve the zoning request with staff recommendation and the following conditions, Commissioner Anderson seconded the motion. Motion passed unanimously.

- 1. The sidewalk along FM 1431 shall be constructed if FM 1431 is improved to accommodate sidewalks during the term of the development agreement.**
- 2. The applicant will hold a meeting with the neighboring property owners to discuss issues raised during the P&Z hearing prior to final Council action.**

3. The zoning district permitted in the COM district shall be GC-3-A instead of GC-3-B.
4. The architectural standard in the MU district shall require 100% masonry on the walls of structures visible from a greenbelt.
5. Fencing will be limited to wrought iron (or tubular metal) when constructed along greenbelts.

10. Meeting adjourned at 9:10 pm.

Chairman Seiler

ATTEST: _____
Ellen Pizalate, P & Z Secretary

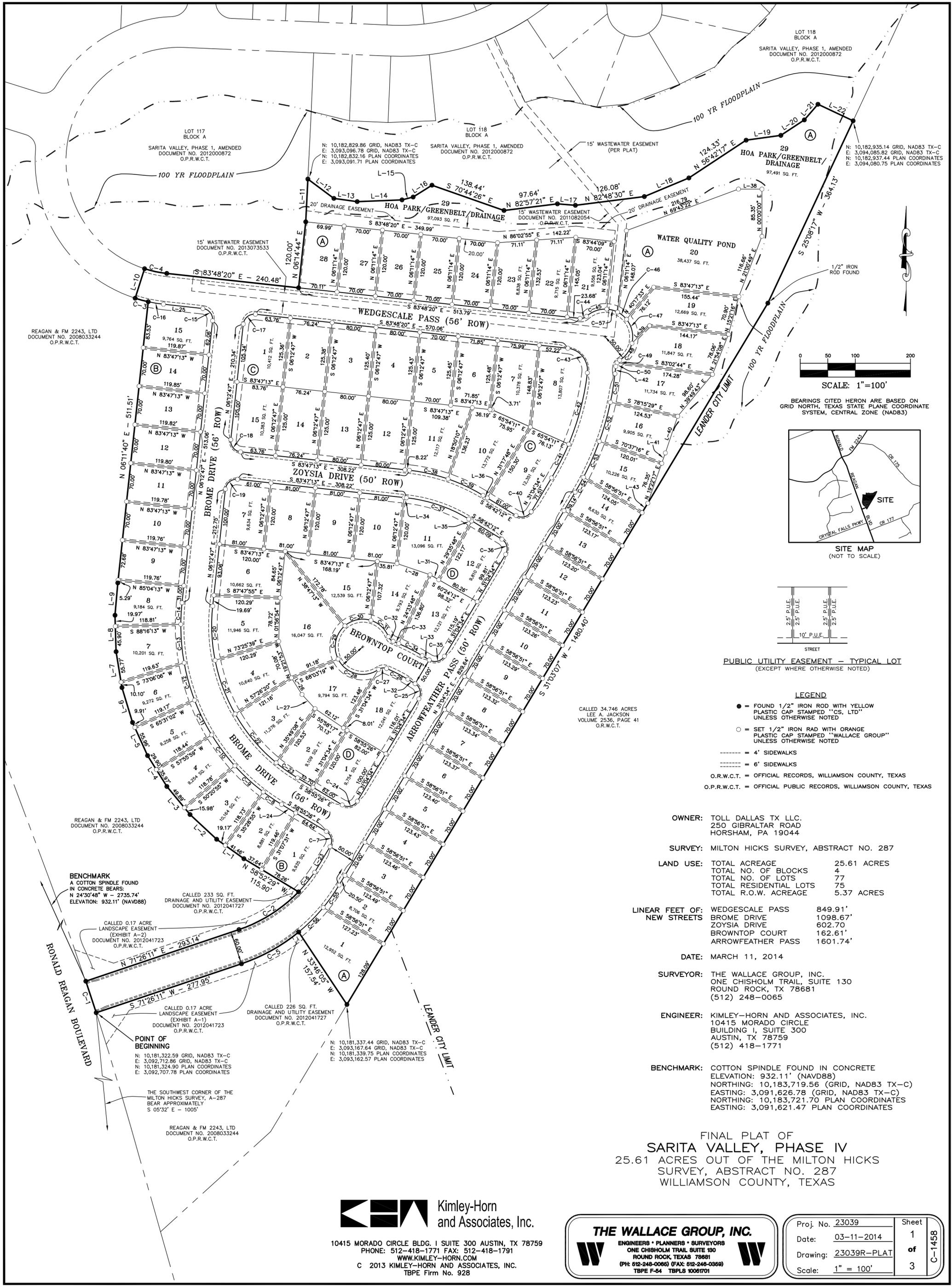


EXECUTIVE SUMMARY

MARCH 27, 2014

-
- Agenda Subject:** Subdivision Case 13-FP-019: Hold a public hearing and consider action on the Sarita Valley Final Plat for 25.61 acres more or less; WCAD Parcel R516398; generally located on the east side of Ronald W. Reagan Blvd, approximately ½ mile from the northeast corner of the intersection of E Crystal Falls Pkwy and Ronald W. Reagan Blvd.; Williamson County, Texas.
- Background:** This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the final plat satisfies the applicable regulations without requesting any variances that require approval of the Planning & Zoning Commission.
- Origination:** Applicant/Agent: Brian Parker on behalf of Toll Dallas TX LLC.
- Financial Consideration:** None
- Recommendation:** This final plat includes 75 single-family lots, one water quality pond lot, and one park/greenbelt/drainage lot. This proposal meets all of the requirements of the Subdivision Ordinance. Staff recommends to conditionally approve the final plat with the following condition:
1. All conditions listed in the Subdivision Ordinance Article II, Section 24 (f) (3) regarding the acceptance of the final improvements or the posting of fiscal assurance for the final improvements have been met.
- Motion:** The Planning & Zoning Commission recommends approval of the final plat for the subject property.
- Attachments:** 1. Final Plat
- Prepared By:** Martin Siwek, GISP
Planner

03/19/2014



LOT 118
BLOCK A
SARITA VALLEY, PHASE 1, AMENDED
DOCUMENT NO. 2012000872
O.P.R.W.C.T.

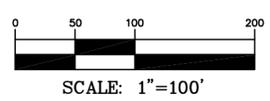
LOT 117
BLOCK A
SARITA VALLEY, PHASE 1, AMENDED
DOCUMENT NO. 2012000872
O.P.R.W.C.T.

N: 10,182,829.86 GRID, NAD83 TX-C
E: 3,093,096.78 GRID, NAD83 TX-C
N: 10,182,832.16 PLAN COORDINATES
E: 3,093,091.71 PLAN COORDINATES

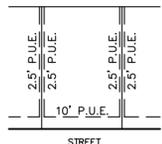
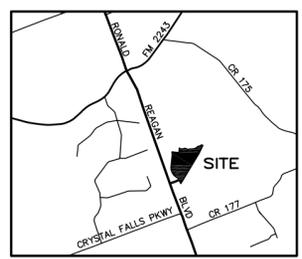
SARITA VALLEY, PHASE 1, AMENDED
DOCUMENT NO. 2012000872
O.P.R.W.C.T.

N: 10,182,935.14 GRID, NAD83 TX-C
E: 3,094,085.82 GRID, NAD83 TX-C
N: 10,182,937.44 PLAN COORDINATES
E: 3,094,080.75 PLAN COORDINATES

REAGAN & FM 2243, LTD
DOCUMENT NO. 2008033244
O.P.R.W.C.T.



BEARINGS CITED HEREON ARE BASED ON
GRID NORTH, TEXAS STATE PLANE COORDINATE
SYSTEM, CENTRAL ZONE (NAD83)



PUBLIC UTILITY EASEMENT - TYPICAL LOT
(EXCEPT WHERE OTHERWISE NOTED)

- LEGEND**
- = FOUND 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CS, LTD" UNLESS OTHERWISE NOTED
 - = SET 1/2" IRON ROD WITH ORANGE PLASTIC CAP STAMPED "WALLACE GROUP" UNLESS OTHERWISE NOTED
 - = 4' SIDEWALKS
 - = 6' SIDEWALKS
 - O.R.W.C.T. = OFFICIAL RECORDS, WILLIAMSON COUNTY, TEXAS
 - O.P.R.W.C.T. = OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS

CALLED 34.746 ACRES
LEE A. JACKSON
VOLUME 2536, PAGE 41
O.R.W.C.T.

OWNER: TOLL DALLAS TX LLC.
250 GIBRALTAR ROAD
HORSHAM, PA 19044

SURVEY: MILTON HICKS SURVEY, ABSTRACT NO. 287

LAND USE: TOTAL ACREAGE 25.61 ACRES
TOTAL NO. OF BLOCKS 4
TOTAL NO. OF LOTS 77
TOTAL RESIDENTIAL LOTS 75
TOTAL R.O.W. ACREAGE 5.37 ACRES

LINEAR FEET OF NEW STREETS

WEDGESCALE PASS	849.91'
BROMO DRIVE	1098.67'
ZOYSIA DRIVE	602.70'
BROWNTOP COURT	162.61'
ARROWFEATHER PASS	1601.74'

DATE: MARCH 11, 2014

SURVEYOR: THE WALLACE GROUP, INC.
ONE CHISHOLM TRAIL, SUITE 130
ROUND ROCK, TX 78681
(512) 248-0065

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
10415 MORADO CIRCLE
BUILDING 1, SUITE 300
AUSTIN, TX 78759
(512) 418-1771

BENCHMARK: COTTON SPINDLE FOUND IN CONCRETE
ELEVATION: 932.11' (NAVD88)
NORTHING: 10,183,719.56 (GRID, NAD83 TX-C)
EASTING: 3,091,626.78 (GRID, NAD83 TX-C)
NORTHING: 10,183,721.70 PLAN COORDINATES
EASTING: 3,091,621.47 PLAN COORDINATES

FINAL PLAT OF SARITA VALLEY, PHASE IV
25.61 ACRES OUT OF THE MILTON HICKS
SURVEY, ABSTRACT NO. 287
WILLIAMSON COUNTY, TEXAS



10415 MORADO CIRCLE BLDG. I SUITE 300 AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
© 2013 KIMLEY-HORN AND ASSOCIATES, INC.
TBPE Firm No. 928

THE WALLACE GROUP, INC.
ENGINEERS • PLANNERS • SURVEYORS
ONE CHISHOLM TRAIL SUITE 130
ROUND ROCK, TEXAS 78681
(PH: 512-248-0065) (FAX: 512-248-0369)
TBPE F-64 TBPLS 10061701

Proj. No.	23039	Sheet	1
Date:	03-11-2014	of	3
Drawing:	23039R-PLAT		
Scale:	1" = 100'		

C-1458

FINAL PLAT OF
SARITA VALLEY, PHASE IV
 25.61 ACRES OUT OF THE MILTON HICKS
 SURVEY, ABSTRACT NO. 287
 WILLIAMSON COUNTY, TEXAS

Curve Table					
CURVE	DELTA	RADIUS	ARC	CH. BEARING	CHORD
C-1	00°35'23"	5829.58'	60.00'	N 18°19'54" W	60.00'
C-2	27°23'00"	270.00'	129.04'	N 57°44'41" E	127.82'
C-3	05°22'41"	261.00'	24.50'	N 74°57'38" W	24.49'
C-4	11°32'03"	205.00'	41.27'	S 78°02'19" E	41.20'
C-5	20°41'58"	330.00'	119.22'	S 61°05'12" W	118.57'
C-6	09°26'27"	278.00'	45.81'	N 39°28'39" E	45.76'
C-7	90°00'00"	20.00'	31.42'	N 13°55'26" W	28.28'
C-8	06°05'30"	378.00'	40.19'	S 55°52'41" E	40.17'
C-9	10°37'32"	378.00'	70.10'	S 47°31'10" E	70.00'
C-10	10°37'32"	378.00'	70.10'	S 36°53'38" E	70.00'
C-11	10°37'32"	378.00'	70.10'	S 26°16'06" E	70.00'
C-12	10°37'32"	378.00'	70.10'	S 15°38'34" E	70.00'
C-13	10°37'32"	378.00'	70.10'	S 05°01'02" E	70.00'
C-14	05°55'03"	378.00'	39.04'	S 03°15'15" W	39.02'
C-15	90°01'07"	20.00'	31.42'	N 38°47'47" W	28.29'
C-16	06°09'22"	261.00'	28.04'	S 80°43'39" E	28.03'
C-17	89°58'53"	20.00'	31.41'	S 51°12'13" W	28.28'
C-18	90°00'00"	20.00'	31.42'	S 38°47'13" E	28.28'
C-19	90°00'00"	20.00'	31.42'	S 51°12'47" W	28.28'
C-20	17°31'44"	322.00'	98.51'	S 2°33'05" E	98.13'
C-21	18°31'07"	322.00'	104.07'	S 20°34'30" E	103.62'
C-22	20°38'30"	322.00'	116.00'	S 40°09'18" E	115.38'
C-23	08°26'53"	322.00'	47.48'	S 54°41'59" E	47.43'
C-24	90°00'00"	20.00'	31.42'	N 76°04'34" E	28.28'
C-25	89°46'46"	20.00'	31.34'	N 13°48'49" W	28.23'
C-26	09°01'27"	275.00'	43.31'	N 63°12'55" W	43.27'
C-27	57°28'17"	15.00'	15.05'	S 83°32'13" W	14.42'
C-28	98°37'07"	50.00'	86.06'	S 75°41'35" E	75.82'
C-29	75°47'42"	50.00'	66.14'	S 11°30'49" W	61.43'
C-30	57°50'05"	50.00'	50.47'	S 78°19'42" W	48.35'
C-31	51°15'58"	50.00'	44.74'	N 47°07'17" W	43.26'
C-32	47°33'48"	15.00'	12.45'	S 45°16'12" E	12.10'
C-33	01°55'34"	325.00'	10.93'	N 68°05'19" W	10.92'
C-34	08°25'20"	325.00'	47.77'	N 62°54'52" W	47.73'
C-35	90°13'14"	20.00'	31.49'	N 76°11'11" E	28.34'
C-36	89°46'46"	20.00'	31.34'	N 13°48'49" W	28.23'
C-37	25°05'01"	275.00'	120.39'	N 71°14'43" W	119.43'
C-38	12°41'16"	325.00'	71.97'	N 77°26'35" W	71.82'
C-39	12°23'45"	325.00'	70.31'	N 64°54'05" W	70.18'
C-40	90°13'14"	20.00'	31.49'	N 76°11'11" E	28.34'
C-41	08°15'51"	475.00'	68.51'	N 26°56'38" E	68.45'
C-42	16°08'31"	475.00'	133.82'	N 14°44'27" E	133.38'
C-43	90°28'32"	40.00'	63.16'	N 38°34'04" W	56.80'
C-44	48°34'58"	15.00'	12.72'	N 71°55'18" E	12.34'
C-45	45°47'42"	50.00'	39.96'	S 70°31'40" W	38.91'
C-46	24°12'15"	50.00'	21.12'	N 51°06'45" W	20.97'
C-47	52°41'54"	50.00'	45.99'	N 12°39'40" W	44.38'
C-48	44°32'42"	50.00'	38.87'	N 35°57'38" E	37.90'
C-49	24°44'03"	15.00'	6.48'	N 45°51'58" E	6.43'
C-50	27°00'43"	15.00'	7.07'	N 19°59'35" E	7.01'
C-51	05°42'18"	525.00'	52.28'	N 09°03'56" E	52.25'
C-52	08°01'38"	525.00'	73.55'	N 15°55'54" E	73.49'
C-53	07°45'38"	525.00'	71.11'	N 23°49'32" E	71.06'
C-54	03°22'12"	525.00'	30.88'	N 29°23'28" E	30.88'
C-55	08°37'36"	330.00'	49.69'	N 35°21'52" E	49.64'
C-56	10°56'54"	330.00'	63.06'	N 45°09'07" E	62.96'
C-57	23°21'37"	50.00'	20.39'	S 74°53'41" E	20.24'

Line Table		
LINE	BEARING	LENGTH
L-1	N 54°31'05" W	60.63'
L-2	N 47°14'09" W	65.87'
L-3	N 39°39'05" W	65.87'
L-4	N 32°04'01" W	65.87'
L-5	N 24°28'58" W	65.87'
L-6	N 16°53'54" W	65.87'
L-7	N 09°18'50" W	65.87'
L-8	N 01°43'47" W	65.87'
L-9	N 04°55'47" E	58.65'
L-10	N 17°43'43" E	56.00'
L-11	N 02°51'14" E	77.41'
L-12	S 53°28'40" E	58.68'
L-13	S 82°09'52" E	42.74'
L-14	N 87°47'07" E	81.29'
L-15	N 75°46'58" E	20.96'
L-16	N 57°55'47" E	40.24'
L-17	S 85°19'47" E	32.72'
L-18	N 67°22'11" E	87.51'
L-19	N 82°05'25" E	63.57'
L-20	N 56°39'55" E	51.00'
L-21	N 41°11'25" E	37.49'
L-22	S 64°51'09" E	70.47'
L-23	N 31°04'34" E	54.26'
L-24	N 58°55'26" W	29.85'
L-25	N 83°48'20" W	71.90'
L-26	S 32°33'40" E	35.59'
L-27	S 42°41'35" E	34.91'
L-28	S 71°13'31" E	63.46'
L-31	S 60°24'12" E	18.06'
L-32	N 58°42'12" W	15.43'
L-33	N 58°42'12" W	15.08'
L-34	S 83°47'13" E	4.22'
L-35	S 58°42'12" E	6.84'
L-36	S 58°42'12" E	8.96'
L-38	N 90°00'00" E	42.59'
L-39	N 45°07'49" E	45.04'
L-40	S 18°33'33" W	69.92'
L-41	S 19°22'17" W	20.00'
L-42	N 06°12'47" E	13.37'
L-43	S 31°03'07" W	20.00'

PERIMETER FIELD NOTES

BEING a 25.61 acre tract of land situated in the Milton Hicks Survey, Abstract No. 287, Williamson County, Texas, and being all of that certain called 25.61 acre tract of land described in a Special Warranty Deed to Toll Dallas TX LLC, as recorded in Document No. 2013073532 of the Official Public Records of Williamson County, Texas (O.P.R.W.C.T.), and being further described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod with yellow plastic cap stamped "CS LTD" (hereafter referred to as "CS cap") found marking the southernmost southwest corner of said called 25.61 acre tract, said point also being on the east right-of-way (R.O.W.) line of Ronald Reagan Boulevard (having a variable width);

THENCE, in a Northerly direction, with the common east R.O.W. line of said Ronald Reagan Boulevard and the west line of said called 25.61 acre tract, and with a curve to the left, having a delta angle of 00° 35' 23", an arc length of 60.00 feet, a radius of 5,829.58 feet, and a long chord bearing and distance of North 18° 19' 54" West - 60.00 feet to a 1/2-inch iron rod with "CS cap" found;

THENCE, departing the east R.O.W. line of said Ronald Reagan Boulevard, and with the common westerly line of said called 25.61 acre tract and easterly line of the southern remainder of that certain called 324.29 acre tract (Tract 1) described in a Special Warranty Deed With Vendor's Lien to Reagan & FM 2243, LTD., as recorded in Document No. 2008033244, O.P.R.W.C.T., the following fourteen (14) calls:

- 1) North 71° 26' 11" East, a distance of 293.14 feet to a 1/2-inch iron rod with "CS cap" found;
- 2) In a Northeasterly direction, with a curve to the left, having a delta angle of 27° 23' 00", an arc length of 129.04 feet, a radius of 270.00 feet, and a long chord bearing and distance of North 57° 44' 41" East - 127.82 feet to a 1/2-inch iron rod with "CS cap" found;
- 3) North 58° 52' 29" West, a distance of 115.90 feet to a 1/2-inch iron rod with "CS cap" found;
- 4) North 54° 31' 05" West, a distance of 60.63 feet to a 1/2-inch iron rod with "CS cap" found;
- 5) North 47° 14' 09" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 6) North 39° 39' 05" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 7) North 32° 04' 01" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 8) North 24° 28' 58" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 9) North 16° 53' 54" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 10) North 09° 18' 50" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 11) North 01° 43' 47" West, a distance of 65.87 feet to a 1/2-inch iron rod with "CS cap" found;
- 12) North 04° 55' 47" East, a distance of 58.65 feet to a 1/2-inch iron rod with "CS cap" found;
- 13) North 06° 11' 40" East, a distance of 511.51 feet to a 1/2-inch iron rod with "CS cap" found;
- 14) In a Westerly direction, with a curve to the right, having a delta angle of 05° 22' 41", an arc length of 24.50 feet, a radius of 261.00 feet, and a long chord bearing and distance of North 74° 57' 38" West - 24.49 feet to a 1/2-inch iron rod with "CS cap" found marking the southernmost corner of Wedgescale Pass (having a width of 56 feet), as dedicated in Sarita Valley, Phase 1, Amended subdivision, as recorded in Document No. 2012000872, O.P.R.W.C.T.;

THENCE, North 17° 43' 43" East, with the common west line of said called 25.61 acre tract and the east line of said Wedgescale Pass, a distance of 56.00 feet to a 1/2-inch iron rod with "CS cap" found for the westernmost southwest corner of Lot 117, Block A of said Sarita Valley, Phase 1, Amended subdivision;

THENCE, with the common north line of said called 25.61 acre tract and the south line of said Lot 117, Block A, the following two (2) calls:

- 1) In a Easterly direction, with a curve to the left, having a delta angle of 11° 32' 03", an arc length of 41.27 feet, a radius of 205.00 feet, and a long chord bearing and distance of South 78° 02' 19" East - 41.20 feet to a 1/2-inch iron rod with "CS cap" found;
- 2) South 83° 48' 20" East, a distance of 240.48 feet to a 1/2-inch iron rod with "CS cap" found for the southeast corner of said Lot 117, Block A;

THENCE, with the common west line of said called 25.61 acre tract and the east line of said Lot 117, Block A, the following two (2) calls:

- 1) North 06° 14' 44" East, a distance of 120.00 feet to a 1/2-inch iron rod with "CS cap" found;
- 2) North 02° 51' 14" East, a distance of 77.41 feet to a 1/2-inch iron rod with "CS cap" found for southwest corner of Lot 118, Block A of said Sarita Valley, Phase 1, Amended subdivision;

THENCE, with the common north line of said called 25.61 acre tract and the south line of said Lot 118, Block A, the following fifteen (15) calls:

- 1) South 53° 28' 40" East, a distance of 58.68 feet to a 1/2-inch iron rod with "CS cap" found;
- 2) South 82° 09' 52" East, a distance of 42.74 feet to a 1/2-inch iron rod with "CS cap" found;
- 3) North 87° 47' 07" East, a distance of 81.29 feet to a 1/2-inch iron rod with "CS cap" found;
- 4) North 75° 46' 58" East, a distance of 20.96 feet to a 1/2-inch iron rod with "CS cap" found;
- 5) North 57° 55' 47" East, a distance of 40.24 feet to a 1/2-inch iron rod with "CS cap" found;
- 6) South 70° 44' 26" East, a distance of 138.44 feet to a 1/2-inch iron rod with "CS cap" found;
- 7) North 82° 57' 21" East, a distance of 97.64 feet to a 1/2-inch iron rod with "CS cap" found;
- 8) South 85° 19' 47" East, a distance of 32.72 feet to a 1/2-inch iron rod with "CS cap" found;
- 9) North 82° 48' 30" East, a distance of 126.08 feet to a 1/2-inch iron rod with "CS cap" found;
- 10) North 67° 22' 11" East, a distance of 87.51 feet to a 1/2-inch iron rod with "CS cap" found;
- 11) North 56° 42' 17" East, a distance of 124.33 feet to a 1/2-inch iron rod with "CS cap" found;
- 12) North 82° 05' 25" East, a distance of 63.57 feet to a 1/2-inch iron rod with "CS cap" found;
- 13) North 56° 39' 55" East, a distance of 51.00 feet to a 1/2-inch iron rod with "CS cap" found;
- 14) North 41° 11' 25" East, a distance of 37.49 feet to a 1/2-inch iron rod with "CS cap" found;
- 15) South 64° 51' 09" East, a distance of 70.47 feet to a 1/2-inch iron rod with "CS cap" found for the common easternmost northeast corner of said called 25.61 acre tract and the easternmost southeast corner of said Lot 118, Block A of said Sarita Valley, Phase 1, Amended subdivision, said point also being on the west line of that certain called 34.746 acre tract of land described in a Partition Deed to Lee A. Jackson, as recorded in Volume 2536, Page 41 of the Official Records of Williamson County, Texas (O.R.W.C.T.);

THENCE, with the common east line of said called 25.61 acre tract and the west line of said 34.746 acre tract, the following two (2) calls:

- 1) South 25° 08' 17" West, a distance of 364.13 feet to a 1/2-inch iron rod found;
- 2) South 31° 03' 07" West, a distance of 1,480.40 feet to a 1/2-inch iron rod with "CS cap" found;

THENCE, departing the west line of said 34.746 acre tract, and with the south line of said called 25.61 acre tract, the following three (3) calls:

- 1) North 33° 46' 05" West, a distance of 157.54 feet to a 1/2-inch iron rod with "CS cap" found;
- 2) In a Westerly direction, with a curve to the right, having a delta angle of 20° 41' 58", an arc length of 119.22 feet, a radius of 330.00 feet, and a long chord bearing and distance of South 61° 05' 12" West - 118.57 feet to a 1/2-inch iron rod with "CS cap" found;
- 3) South 71° 26' 11" West, a distance of 277.95 feet to the **POINT OF BEGINNING**.

NOTES:

1. This subdivision is wholly contained within the current corporate limits of the City of Leander, Texas.
2. Construction of improvements within this subdivision shall not commence until all applicable permits and/or construction plans have been approved by the City of Leander, Texas. All improvements shall conform to applicable city standards and specifications.
3. Building setbacks not shown hereon shall comply with the most current zoning ordinance of the City of Leander.
4. No lot in this subdivision shall be occupied until connected to the water distribution and wastewater collection systems of the City of Leander, Texas.
5. Sidewalks shall be installed on both sides of all streets and the subdivision side of all streets. Those sidewalks not abutting a residential, commercial or industrial lot (including sidewalks along street frontages of lots proposed for schools, churches, park lots, detention lots, drainage lots, landscape lots, or similar lots), sidewalks on arterial streets to which access is prohibited, sidewalks on double frontage lots on the side to which access is prohibited, and all sidewalks on safe school routes shall be installed when the adjoining street is constructed.
6. Sidewalks shall be constructed by the developer for the following lots: Lots 20 & 29, Block A. Sidewalks abutting non-residential lots shall be 6-feet wide as indicated. All sidewalks abutting a residential lot shall be built by the homebuilder. Sidewalk widths are as follows:

STREETS	SIDEWALK WIDTH
WEDGESCALE PASS	4' BOTH SIDES
ARROWFEATHER PASS	4'-6' BOTH SIDES
BROME DRIVE	4' BOTH SIDES
ZOYSIA DRIVE	4' BOTH SIDES
BROWNTOP COURT	4' BOTH SIDES
7. No driveway shall be constructed closer than 50 feet or 60% of parcel frontage, whichever is less, to the R.O.W. of an intersecting local or collector street or 100' or 60% of parcel frontage, which ever is less, to the ROW of an intersecting arterial street.
8. A 10-foot Public Utility Easement adjacent to all rights of way and a 2.5-foot utility easement adjacent all side lot lines, thus creating an effective width of 5-feet is hereby dedicated with this plat.
9. All utilities shall be placed underground.
10. For lots less than sixty feet wide and zoned SFC, SFL or SFT, residential street facing garages shall be located no closer to the street than five feet in front of the dwelling or roof covered porch, with such dwelling or porch structure being not less than seven feet wide for all portions of the structure adjacent to the garage. For all other lots, residential street facing garages shall be located no closer to the street than the dwelling.
11. The HOA will maintain the following lots: Block A Lots 20 & 29. The HOA will maintain fences along right-of-ways and common drainage channels and area within HOA lots. The HOA is responsible to mow open channels, detention, and water quality areas.
12. The Sarita Valley Greenbelt Trail shall be extended to Reagan Boulevard and built according to the approved construction plans.
13. At the time of final plat, the applicant will provide a payment to the City in the amount of \$126 per peak hour trip projected to be generated by the development.
14. All easements on private property shall be maintained by the property owner or his or her successors and assigns.
15. The grid coordinate values and bearings cited hereon are referenced to Texas State Plane Coordinate System Central Zone, NAD83; combined scale factor (CSF) of 0.999870017; elevations referenced to NAVD88; Distances cited hereon are surface values; grid distances may be obtained by applying the combined scale factor to the surface values.
16. These lots are included in the Owner's Association at Sarita Valley initially created by the Master Declaration of Covenants, Conditions and Restrictions as recorded in Document Number 2012008324 of the Official Public Records of Williamson County, Texas.
17. This plat is subject to the terms, conditions, and stipulations described in instruments recorded in Document Numbers 2011082054, 2012041722 and 2012008324 of the Official Public Records of Williamson County, Texas.
18. This plat is subject to the restrictive covenants described in instruments recorded in Document Numbers 2012008324, 2012041724, 2012047622, 2012047623, 2012048291, 2012048292, 2012048293 and 2013046398 of the Official Public Records of Williamson County, Texas.
19. All property corners shall be set at the end of construction.



10415 MORADO CIRCLE BLDG. I SUITE 300 AUSTIN, TX 78759
 PHONE: 512-418-1771 FAX: 512-418-1791
 WWW.KIMLEY-HORN.COM
 C 2013 KIMLEY-HORN AND ASSOCIATES, INC.
 TBPE Firm No. 928



Proj. No. 23039	Sheet 2	C-1458
Date: 03-11-2014	of 3	
Drawing: 23039R-PLAT		
Scale: 1" = 100'		

FINAL PLAT OF
SARITA VALLEY, PHASE IV
 25.61 ACRES OUT OF THE MILTON HICKS
 SURVEY, ABSTRACT NO. 287
 WILLIAMSON COUNTY, TEXAS

OWNER CERTIFICATION

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS;
 COUNTY OF WILLIAMSON §

That Toll Dallas TX LLC, owner of that certain tract of land shown hereon, being all of that tract described as 25.61 acres in a Special Warranty Deed recorded in Document No. 2013073532 of the Official Public Records of Williamson County, Texas, do hereby subdivide said tract as shown hereon, subject to any easements or restrictions heretofore granted and not released, and do hereby consent to all plat note requirements shown hereon, and do hereby dedicate to the City of Leander the streets, alleys, rights-of-way, easements, parks, and other open spaces shown hereon for such public purposes as the City of Leander may deem appropriate, or when the subdivider has made provision for maintenance thereof, to the inhabitants of the subdivision. This subdivision is to be known as **Sarita Valley, Phase IV**.

TO CERTIFY WHICH, WITNESS by my hand this the _____ day of _____ 20____ A. D.

Toll Dallas TX LLC
 a Texas limited liability company

By: _____
 Name: _____
 Title: _____

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that they executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL of office this the _____ day of _____ 20____ A. D.

Notary Public in and for the State of Texas
 My Commission expires on: _____

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS;
 COUNTY OF WILLIAMSON §

Approved this the _____ day of _____, 20____ A.D. at a public meeting of the Planning and Zoning Commission of the City of Leander, Texas and authorized to be filed for record by the County Clerk of _____ County.

 Chairman
 Planning and Zoning Commission
 City of Leander, Texas

ATTEST: _____
 Ellen Pizalate, Secretary
 Planning and Zoning Commission
 City of Leander, Texas

SURVEYOR CERTIFICATION

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS;
 COUNTY OF WILLIAMSON §

I, Daniel M. Flaherty, Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correctly made from an actual survey made on the ground of the property legally described hereon, and that there are no apparent discrepancies, conflicts, overlapping of improvements, visible utility lines or roads in place except as shown on the accompanying plat, and that the corner monuments shown thereon were placed under my supervision in accordance with the Subdivision Regulations of the City of Leander, Texas. Easements of record as listed on First American Title Insurance Company, title commitment File Number 1002-57711-RTT, with an effective date of July 3, 2013, that are located on the tract associated with said title commitment, and are also a part of the tract shown hereon, are shown or noted on the plat. The perimeter field notes shown hereon have a mathematical closure within the standards as stated in the "Professional Land Surveying Act" of the State of Texas to the best of my knowledge and belief.

TO CERTIFY WHICH, WITNESS my hand and seal this the _____ day of _____, 20____ A.D.

 Daniel M. Flaherty
 Registered Professional Land Surveyor No. 5004
 State of Texas

ENGINEER CERTIFICATION:

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS;
 COUNTY OF WILLIAMSON §

I, Brian J. Parker, am authorized under the laws of the State of Texas to practice the profession of Engineering, and do hereby state that this plat conforms with the applicable ordinances of the City of Leander, Texas, and that portions of this subdivision are encroached by Special Flood Hazard Areas inundated by 100-year floods as identified by the Federal Emergency Management Agency Boundary Map (Flood Insurance Rate Map), Community-Panel Number 48491C0460 E, dated September 26, 2008, and that each lot conforms to the City of Leander Subdivision Regulations.

The fully developed, concentrated stormwater runoff resulting from the one hundred (100) year frequency storm is contained within the drainage easements and/or public rights-of-way dedicated by this plat.

TO CERTIFY WHICH, WITNESS my hand and seal this the _____ day of _____, 20____ A. D.

 Brian J. Parker
 Registered Professional Engineer No. 90248
 State of Texas

COUNTY CLERK'S APPROVAL:

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS;
 COUNTY OF WILLIAMSON §

I, Nancy E. Rister, Clerk of the County Court, with and for the county and state aforesaid, do hereby certify that the foregoing instrument of writing, and its certificate of authentication, was filed for record in my office on the _____ day of _____, 20____, A.D. at _____ o'clock, _____ M, and was duly recorded on this the _____ day of _____, 20____, A.D. at _____ o'clock _____ M, Plat Records of said County and State as Document Number _____. Witness my hand and seal at the County Court of said County, at my office in Georgetown, Texas the date last shown above written.

By: _____
 Nancy E. Rister
 Clerk, County Court
 Williamson County, Texas



EXECUTIVE SUMMARY

MARCH 27, 2014

Agenda Subject: Zoning Case #14-Z-005: Hold a public hearing and consider action on the rezoning of a tract of land located at 1001 Horizon Park Blvd; 5.69 acres more or less; WCAD Parcel #R036572. Currently, the property is zoned SFU/MH-2-B (Single-Family Urban / Manufactured Home). The property is proposed to be zoned TF-2-B (Two-Family), Leander, Williamson County, Texas.

Background: This request is the first step in the rezoning process.

Origination: Applicant: Michael and Theresa Kopecky on behalf of Willie and Sue A. Kopecky.

Financial Consideration: None

Recommendation: See Planning Analysis.

Motion: APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)

DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.

Attachments:

1. Planning Analysis
2. Current Zoning Map
3. Aerial Map
4. Letter of Intent

Prepared By: Martin Siwek, GISP
Planner

3/14/2014



PLANNING ANALYSIS

ZONING CASE 14-Z-005
Texas Village

GENERAL INFORMATION

Owner: Willie and Sue A. Kopecky.

Current Zoning: SFU/MH-2-B (Single-Family Urban/Manufactured Home)

Proposed Zoning: TF-2-B (Two-Family)

Size and Location: The property is at 1001 Horizon Park Blvd and is approximately 5.77 acres in size.

Staff Contact: Martin Siwek, GISP
Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	SFU/MH-2-B	Developed Single Family Home
EAST	SFU-2-B	Developed Single Family Homes: Oak Ridge Sec. 2
SOUTH	SFU/MH-2-B	Developed Single Family Home
WEST	HC-4-D	Developed Commercial Property

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:**TF – TWO-FAMILY:**

Features: 9,000 sq. ft. lot min.; 1,200 sq. ft. for s.f. home, 900 sq. ft. per unit for 2 - family.

Intent: Development of two-family dwelling structures on intermediate sized lots and for other uses that are compatible and complimentary to intermediate sized lots and two-family dwellings. Such components are generally intended to provide an orderly transition and serve as a buffer between larger lot neighborhoods and more intensive uses and to create more variety in housing opportunities and in the fabric of the neighborhoods. The goal is to avoid more than ten acres of contiguous land having a two-family component. This component should include or be located within six hundred feet of parkland or other recreational open space. To avoid street congestion due to additional on-street parking, access to lots shall be provided by a street with a ROW of fifty-six (56) feet or greater and a pavement width of thirty-six (36) feet or greater unless lots average at least one hundred feet in width or unless garage access is from an alley.

SITE COMPONENT:**TYPE 2:**

Features: Accessory buildings greater of 10% of primary building or 120 sq. ft.; accessory dwellings for SFR, SFE and SFS; drive-thru service lanes; uses not to exceed 40,000 sq. ft.; multi-family provides at least 35% of units with an enclosed garage parking space.

Intent:

- (1) The Type 2 site component may be utilized with non-residential developments that are adjacent to a residential district or other more restrictive district to help reduce potential negative impacts to the more restrictive district and to provide for an orderly transition of development intensity.
- (2) The Type 2 site component is intended to be utilized for residential development not meeting the intent of a Type 1 site component and not requiring the additional accessory structure or accessory dwelling privileges of the Type 3 site component.
- (3) This component is intended to be utilized with the majority of LO and LC use components except those that meet the intent of the Type 1 or Type 3 site component or with any use requiring drive-through service lanes.
- (4) This component is generally not intended to be utilized with LI and HI use components except where such component is adjacent to, and not adequately buffered from, residential districts or other more restricted districts, and except as requested by the land owner.

ARCHITECTURAL COMPONENTS:**TYPE B**

Features: 85% masonry 1st floor, 50% overall; 4 or more architectural features.

Intent:

- (1) The Type B architectural component is intended to be utilized for the majority of residential development except that which is intended as a Type A architectural component.
- (2) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions.
- (3) This component may be utilized to raise the building standards and help ensure compatibility for non-residential uses adjacent to property that is more restricted.

- (4) This component is intended for the majority of the LO and LC use components except those meeting the intent of the Type A or C architectural components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Provide Opportunities for coordinated, well-planned growth and development that are consistent with the Comprehensive Plan.
- Plan for continued growth and development that improves the community's overall quality of life and economic viability.
- Plan for future development that is compatible with existing residential neighborhoods.
- Provide for a variety of sustainable housing options for all age groups and economic levels. Determine ways to successfully integrate this variety within neighborhoods so as to accommodate the different needs of families throughout their life cycle. Create more desirable and livable neighborhoods while respecting the goal of maintaining stable real estate values and housing marketability.

ANALYSIS:

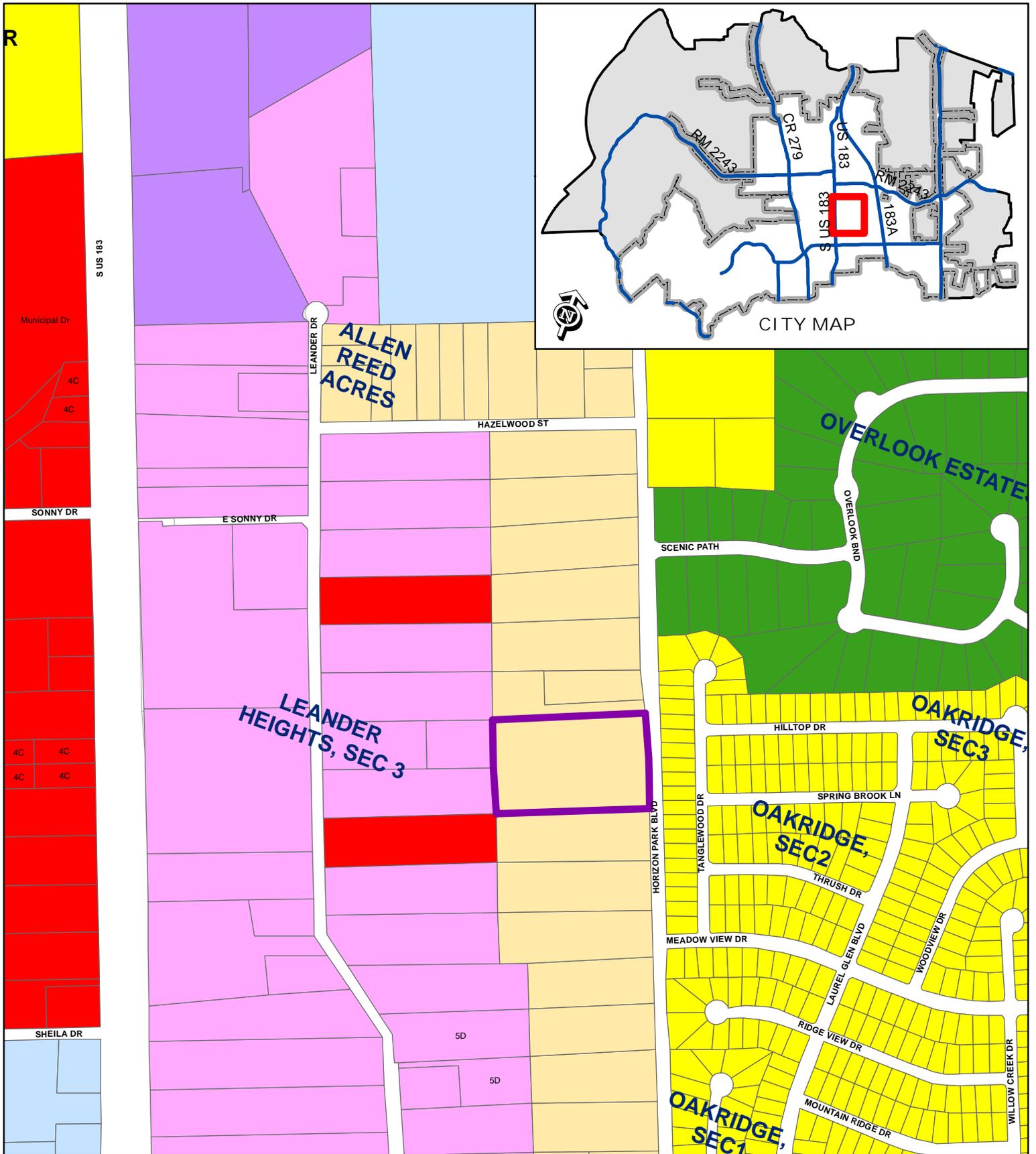
The property is presently zoned SFU/MH-2-B (Single-Family/Manufactured Home) district, and the applicant is requesting to rezone the property to TF-2-B (Two-Family) district. Immediately north of this property is a SFU/MH-2-B district with a developed single family home, and the property to the east is zoned as SFU-2-B (Single-Family Urban) district and is the developed Oak Ridge Section 2 residential subdivision. The southern property is zoned SFU/MH-2-B (Single Family Urban / Manufactured Home), and is developed with a single family home. The property to the west is zoned HC-4-D (Heavy Commercial) and is a developed commercial property.

The intent of the TF use component is to serve as a buffer between larger lot subdivisions and more intensive land uses. The goal is to create more variety in housing, while seeking to avoid creating a zoning district including TF use component larger than 10 acres. Additionally, access to TF-2-B zoned property should be provided by a street with a ROW dedication of 56 feet or greater, and 36 six feet of pavement. The intent statement goes on to note that the TF-2-B district should be within 600 feet of park or other recreation open space. The TF use component requires a minimum of one enclosed garage parking space and two additional off street parking spaces.

STAFF RECOMMENDATION:

The applicant's request meets several of the intent statements for the TF-2-B district. It would provide a buffer between existing single family developments to the east and buffer more intensive commercial developments immediately to the west. The property is approximately five and three quarter acres, and avoids forming a 10 acre contiguous tract of TF-2-B zoning. Additionally, staff anticipates at the time of development that the applicant's request to the TF-2-

B district will meet the remaining intent statements regarding the TF-2-B project be located on a street with 36 feet of pavement, and located within 600 feet of a park or open recreation space. The intent statement grants an exception to the 36 feet of pavement requirement, if the minimum lot widths are set at 100 feet or if garage access is from an alley. The Staff recommends approval of this request, as the proposed request does satisfy the majority of the intent statements outlined in the composite zoning ordinance.



ZONING CASE 14-Z-005

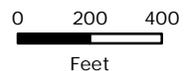
Attachment #2

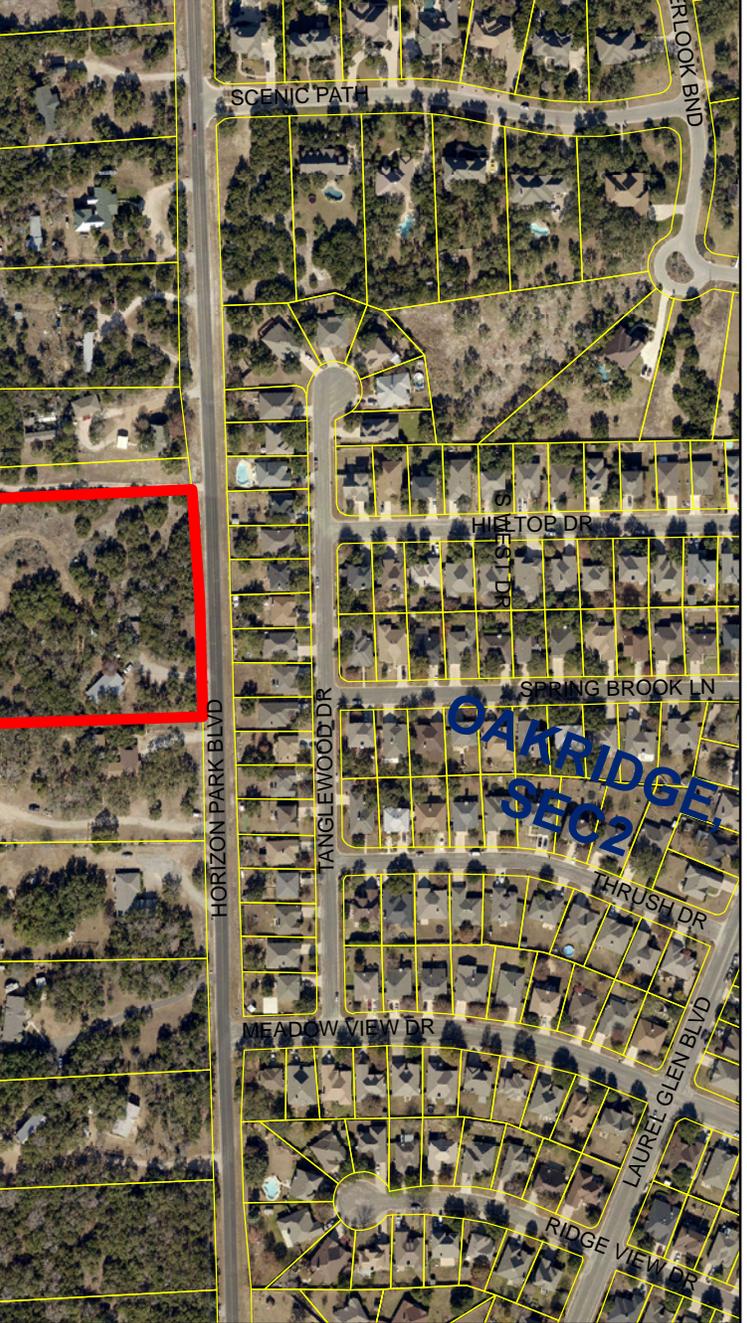
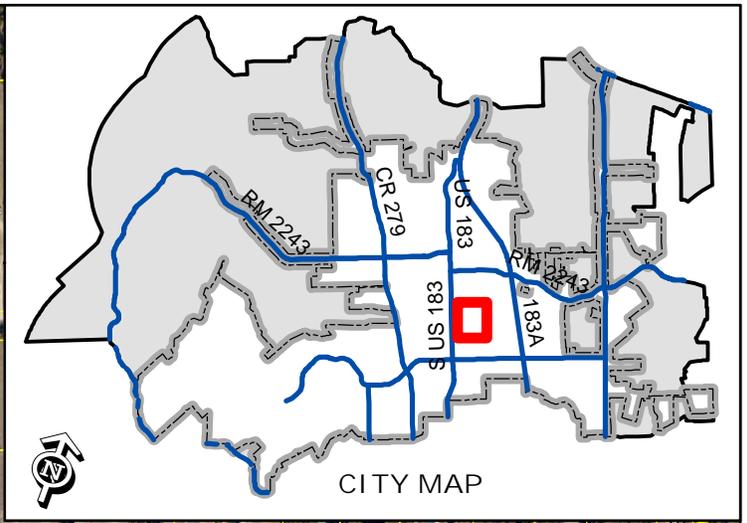
Current Zoning Map
Texas Village



- City Limits
- Subject Property
- Future Annexation Per DA
- Involuntary Annexation
- Voluntary Annexation

- | | | |
|-----|--------|-----|
| SFR | SFT | GC |
| SFE | SFU/MH | HC |
| SFS | TF | HI |
| SFU | MF | PUD |
| SFC | LO | |
| SFL | LC | |



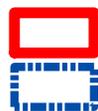


ZONING CASE 14-Z-005 Attachment # 3

Aerial Exhibit - Approximate Boundaries
Texas Village



0 200
Feet



Subject Property

City Limits

ATTACHMENT 4

Michael Kopecky

1502 Main Street
Cedar Park, TX 78613

T 512 470-5521

mjkopecky63@aol.com

February 25, 2014

Robin M. Griffin, AICP
Senior Planner
City of Leander, Texas
Post Office Box 319
Leander, TX 78646-0319

Dear Robin,

Herein is our Letter of Intent regarding the property for which we are requested a zoning change at this time. The property in question consists of Lots 29 & 30, Block B, Leander Heights Section Three, an Addition in Williamson County, Texas. The physical address of the property is 1001 County Road 273, now known as 1001 Horizon Park Boulevard, Leander, Texas 78641, and contains 5.69 acres of land.

Our intent is to develop this property as multi-family housing. We are planning to subdivide the acreage into 14-18 lots and build a duplex unit upon each lot. Each duplex shall consist of approximately 3600 square feet, with each side containing an estimated 1800 square feet of living space.

The property shall be otherwise improved, with road(s), sidewalks, utilities and landscaped areas as appropriate and directed. The property currently contains a good number of young to moderate sized oak trees that lend a park-like atmosphere to the project. We intend that this housing area shall be an enjoyable living experience in the style and intent of Leander's city plan for gentle Texas living. Our draft name of the project is Texas Village.

Please let us know if we can provide further information as we proceed with the re-zoning process.

Sincerely yours,

Michael Kopecky



EXECUTIVE SUMMARY

MARCH 27, 2014

Agenda Subject: Zoning Case 13-Z-028: Hold a public hearing and consider action on the rezoning of several tracts of land located at 2680 CR 268, 17851 Ronald W. Reagan, generally located north of Hero Way, West of Ronald Reagan Blvd. & south of San Gabriel; Legal Description AW0125 Chambers, T. Sur. 197.55 acres more or less; WCAD Parcels #R098020, R031606, R473799, R473798, R473797, R333713, R031617, R031607. Currently, the property is zoned GC-3-C (General Commercial), Interim SFS-2-B (Single-Family Suburban) and Interim SFR-1-B (Single-Family Rural). The property is proposed to be zoned PUD (Planned Unit Development), Leander, Williamson County, Texas.

Background: This request is the first step in the rezoning process.

Origination: Applicant: Blake J. Magee on behalf of Palmera Ridge Development, Inc. and MP52, LLC.

Financial Consideration: None

Recommendation: See Planning Analysis.

Motion: APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)

DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.

Attachments:

1. Planning Analysis
2. Current Zoning Map
3. Aerial Map
4. Proposed PUD
5. Letter of Intent

Prepared By: Robin M. Griffin, AICP
Senior Planner

03/17/2014



PLANNING ANALYSIS

ZONING CASE 13-Z-028 PALMERA RIDGE PUD

GENERAL INFORMATION

- Owner:** Palmer Ridge Development, Inc. and MP52, LLC
- Current Zoning:** Interim SFR-1-B (Single-Family Rural)
Interim SFS-2-B (Single-Family Suburban)
GC-3-C (General Commercial).
- Proposed Zoning:** PUD (Planned Unit Development)
- Size and Location:** The property includes 2680 CR 268 and 17851 Ronald W. Reagan Blvd, and is generally located north of Hero Way, West of Ronald W. Reagan Blvd. & south of San Gabriel. The property is approximately 197.55 acres in size.
- Staff Contact:** Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	OCL	Undeveloped Properties in the ETJ
EAST	SFR-2-B Interim SFS-2-B	Single-Family Neighborhood under construction Established Single-Family Homes
SOUTH	OCL	Established Single-Family Homes & Undeveloped Properties
WEST	OCL	Established Single-Family Homes & Undeveloped Properties

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:

PUD – PLANNED UNIT DEVELOPMENT:

The purpose and intent of the Planned Unit Development (PUD) district is to design unified standards for development in order to facilitate flexible, customized zoning and subdivision standards which encourage imaginative and innovative designs for the development of property within the City. The intent of this zoning request is to provide for the design of a development which permits a mixed-residential community. This integrated project will include a blend of single-family, multi-family, and commercial development. The intent of this zoning district is to cohesively regulate the development to assure compatibility with adjacent single-family residences, neighborhoods, and commercial properties within the region.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Plan for continued growth and development that improves the community's overall quality of life and economic viability.
- Provide for a variety of sustainable housing options for all age groups and economic levels. Determine ways to successfully integrate this variety within neighborhoods so as to accommodate the different needs of families throughout their life cycle. Create more desirable and livable neighborhoods while respecting the goal of maintaining stable real estate values and housing marketability.
- Establish high standards for development.

ANALYSIS:

The applicant is requesting the PUD (Planned Unit Development) district in order to allow for the development of a mixed residential community that includes multi-family and commercial development located along Ronald W. Reagan Blvd. The majority of this property is currently subject to a voluntary annexation. This process will run concurrently with the rezoning request. The proposal includes residential lot widths ranging from as narrow as forty (40') feet to over seventy (70') feet wide. The applicant has incorporated the mixture of residential districts in a well integrated neighborhood plan providing a variety of lot sizes within the same neighborhood.

The PUD proposal includes two categories of land use: Mixed Use and Single Family. The Mixed Use category permits the development of uses listed in the MF-2-B (Multi-Family) and GC-3-C (General Commercial) zoning districts. The development agreement approved by the City Council limits the size of the mixed use area to fifteen acres, but not less than eleven acres.

The proposed MF-2-B district would permit a density of 18 units per acre and require that 35% of the units have garages. The Type B architectural component requires that 85% of the first story walls are masonry and the 50% of the overall structure is masonry. The proposed GC-3-C is consistent with the current commercial zoning on the property. The proposed Type 3 site

component associated with the GC use component permits the use of the outdoor site area for outdoor fuel sales, limited outdoor display and storage or accessory buildings. Permitted outdoor uses include:

- Outdoor Display (limited 30% of the gross floor area of the primary structure)
- Outdoor Storage (limited 20% of the gross floor area of the primary structure)
- Outdoor Fuel Sales
- Overhead Commercial Doors
- Drive-Through Lanes (also permitted in Type 2)

The Type C architectural component requires that 60% of the street facing walls are masonry and the 35% of the overall structure is masonry.

The table below identifies the proposed residential zoning districts, lot sizes, and allowed percent for the residential portion of this project. The primary difference between the proposed lot size is the SFL-2-A district. The ordinance currently requires the lot width to be 41 feet and the minimum lot size to be 4100 square feet. The approved development agreement limits the overall density of the residential portion of this project to 600 units.

Use	Lot Width	Minimum Lot Area	Living Area SF	Total Lots	Allowed Percent
SINGLE-FAMILY					
Single-Family Limited (SFL-2-A)	40'	3500*	1000	46	8% max
Single-Family Compact (SFC-2-A)	50'	5500	1100	229	38% max
Single-Family Urban (SFU-2-A)	60'	7200	1200	200	33% min
Single Family Suburban (SFS-2-A)	70'	9000	1500	125	21% min

* Proposed SFL-2-A maybe developed under a site plan, in which case lot area would be building area.

Proposed Variations from the Composite Zoning Ordinance and/or Subdivision Ordinance:

1. Development of a single tier of lots adjacent to the collector roads. Currently, the Subdivision Ordinance requires that all residential blocks are designed to accommodate two tiers of lots.
2. Removal of the required vehicular connection to the west.
3. Lots that are developed with the SFL use component will not be required to have frontage on a street with ROW of 56 feet or greater and a pavements width of 36 feet or greater unless access to garages are from an alley.

Additional Standards Not Required by the Composite Zoning Ordinance:

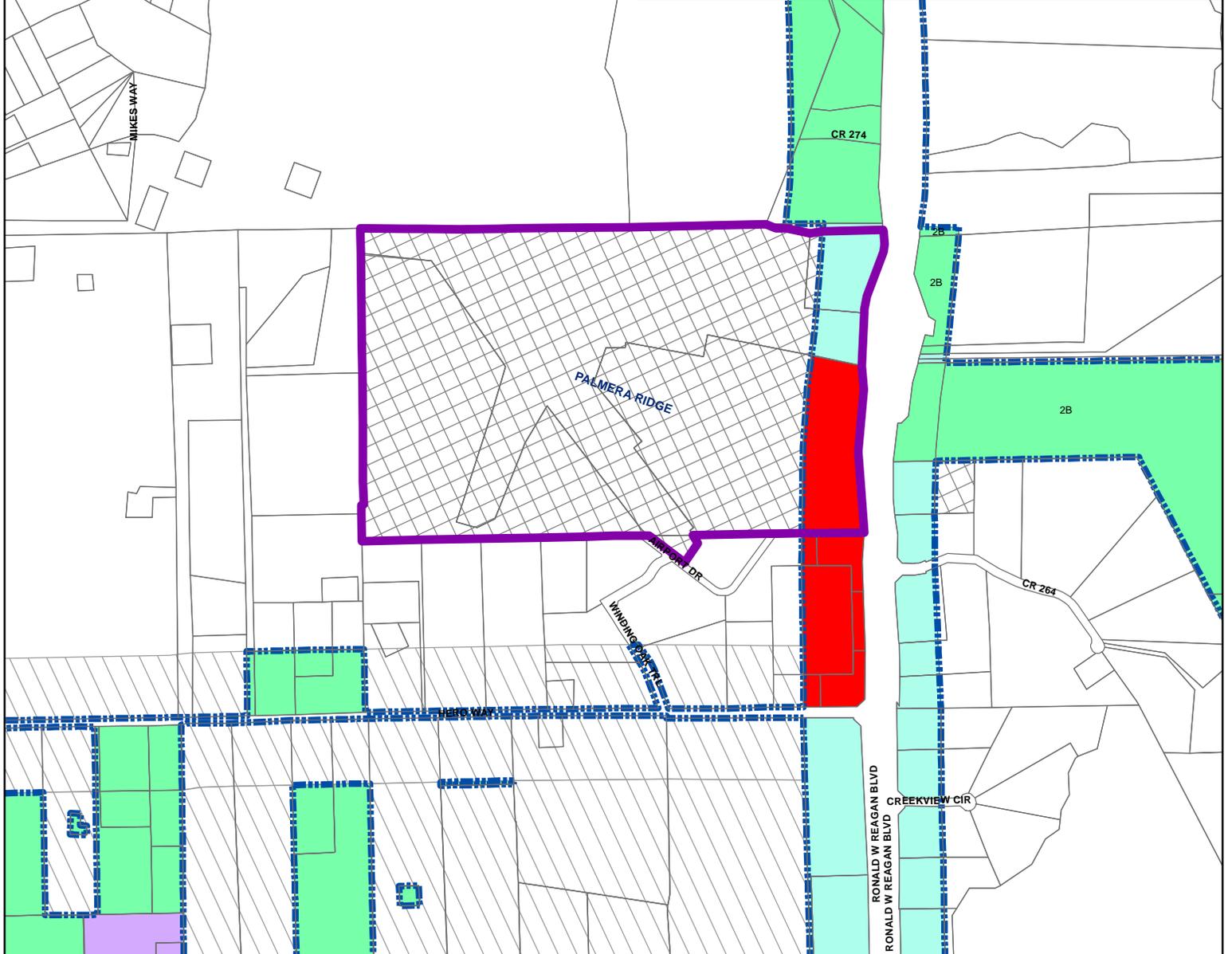
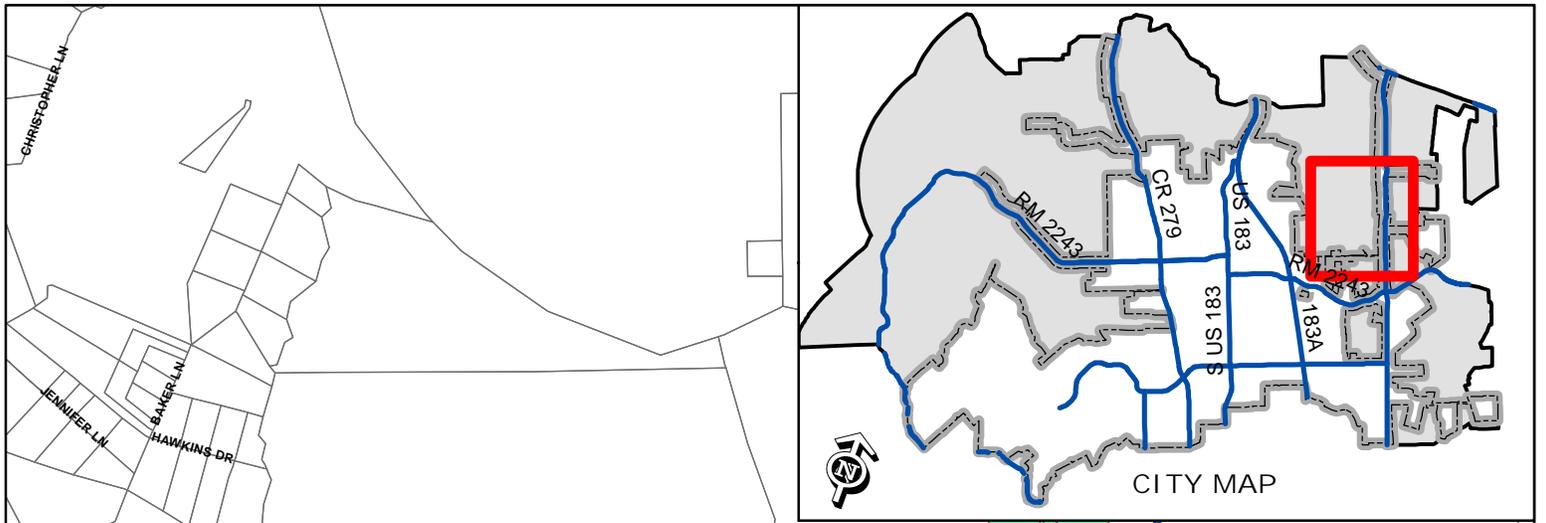
1. Construction of a six (6') foot decorative wall along the collector streets of the project.
2. Construction of a native landscaping in the wet pond at the entry of the subdivision off of Ronald W. Reagan Blvd.
3. Use of the Type A architectural component on the residential portion of the project. All street facing sides of the homes backing up to or siding on the collector roads will be 100% masonry.

STAFF RECOMMENDATION:

Staff recommends approval of the requested PUD with the following conditions:

1. The proposed base zoning district for the mixed use category is changes from the GC-3-C to GC-3-B.
2. The street connection to the west is provided.
3. All lots that are proposed to front on the street to the west of the SFL-2-B lot (currently called Blue Lagoon on the Concept Plan) shall have garage access from a rear alley.

The proposed PUD promotes more flexibility with the location of the single-family districts and incorporates a mixture of multi-family and commercial uses along Ronald W. Reagan Blvd. This application effectively utilizes composite zoning to incorporate a variety of land uses while maintaining high form standards. The requested PUD meets the intent statements of the Composite Zoning Ordinance and the goals of the Comprehensive Plan.



ZONING CASE 13-Z-028

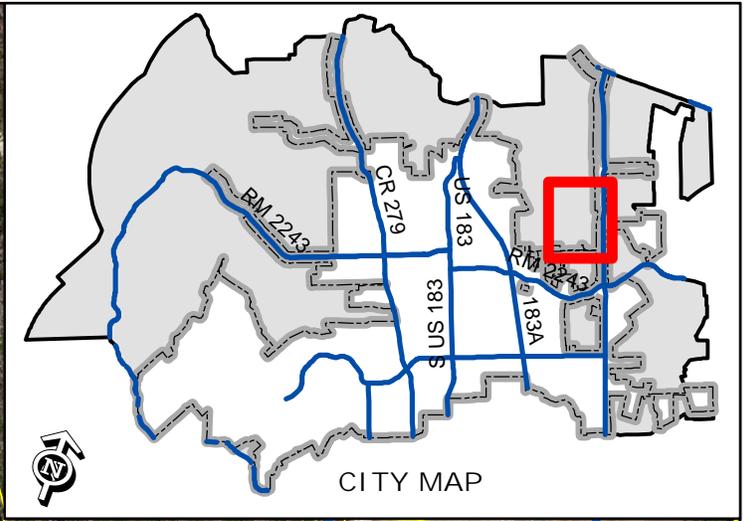
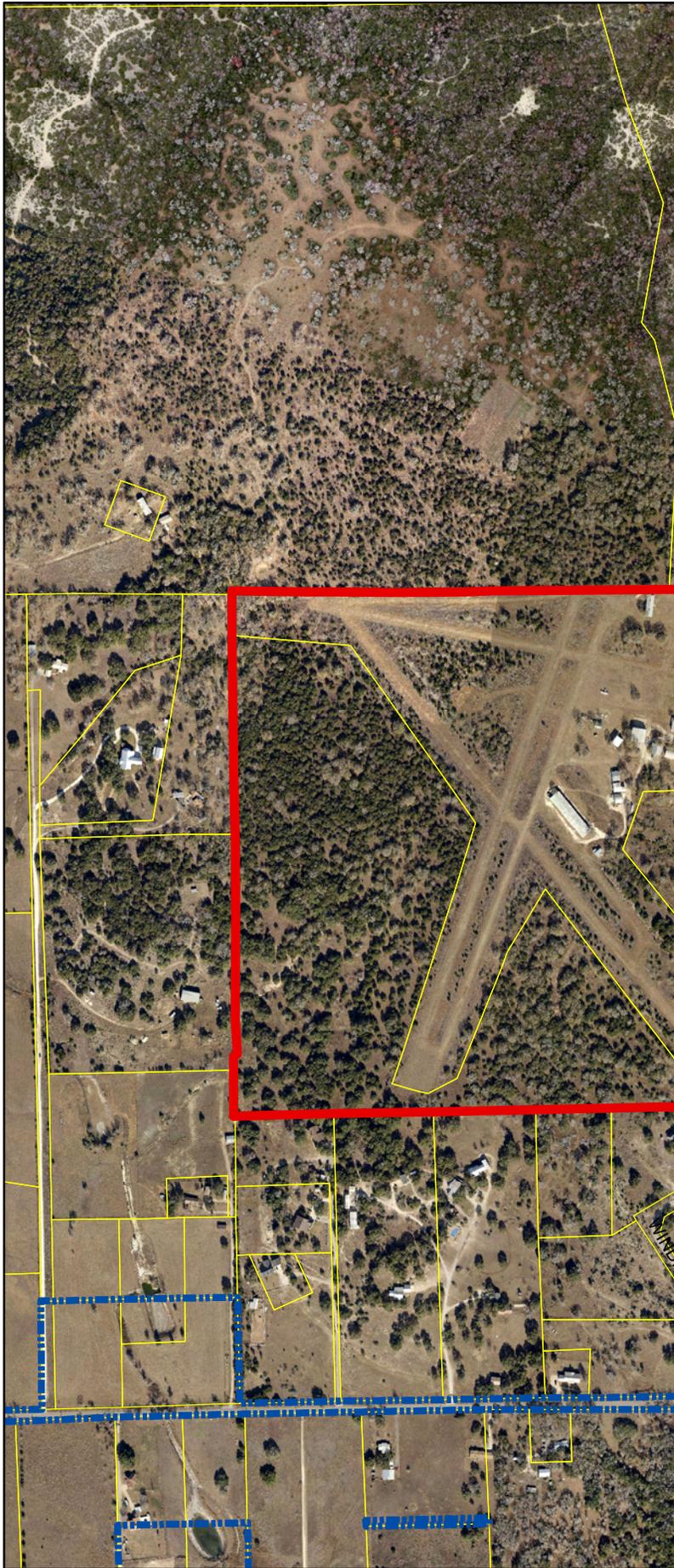
Attachment #2

Current Zoning Map
Palmera Ridge PUD



	Subject Property		SFR		SFT		GC
	City Limits		SFE		SFU/MH		HC
	Future Annexation Per DA		SFS		TF		HI
	Involuntary Annexation		SFU		MF		PUD
	Voluntary Annexation		SFC		LO		
			SFL		LC		





CITY MAP

ZONING CASE 13-Z-028 Attachment # 3

Aerial Exhibit - Approximate Boundaries
Palmera Ridge PUD



-  Subject Property
-  City Limits

Table A: Mixed Use

Zoning Category - City of Leander for Commercial/Attached Residential 15 Acres	Zoning Category	Acres	% of Total
General Commercial	GC-3-C	15	0-100%
Multi Family (Uses can be either all or a combination of both uses)	MF-2-B		0-100%
Total		15	

Table B: Single Family

Zoning Category - City of Leander for Single Family - 182 Acres	Zoning Category	Lot Width	Minimum Lot Size	Living Area SF	Total Lots	% of Total	Min/Max %
Single Family Limited	SFL-2-A	40	3500	1000	46	8%	max
Single Family Compact	SFC-2-A	50	5500	1100	229	38%	max
Single Family Urban	SFU-2-A	60	7200	1200	200	33%	min
Single Family Suburban	SFS-2-A	70	9000	1500	125	21%	min
Total					600	100%	

- NOTES:**
- The base zoning district for the project shall be all Zoning Categories listed to the left in Table A and Table B (gathered from the City of Leander Composite Zoning Ordinance). The standards of the Composite Zoning Ordinance will apply unless otherwise described in the following notes;
 - PUD area = 197.55 acres
 - Lot width distribution shall be in accordance with Table B, this sheet.
 - This will be a single family residential, commercial, and multi-family development.
 - Greenbelts and Parks will be provided in accordance with the approved concept plan.
 - Parkland dedication for the development was satisfied through a Development Agreement between Palmera Ridge Development, Inc. and the City of Leander, Texas.
 - The development will contain a minimum of 20 acres parkland, amenity center, and natural open space.
 - A 6' decorative rock wall will be built along either side of all collector streets within a 25' landscaped parkway.
 - Over 1 mile of pedestrian trails will be built within the development.
 - A native landscaped wet pond will be constructed at the main entry off of Ronald Reagan Blvd.
 - All single family homes will be constructed to "Type A" Architectural Standards as defined by the City of Leander.
 - No homes will front on the collector road and all street facing sides of the homes backing or siding on the collector roads will be 100% masonry.
 - A Single Tier of lots will be allowed along all collector streets identified on the PUD Land Use Plan.
 - No Vehicular connection is required to be provided along the western property boundary to any adjacent bordering parcel of land.
 - The development agreement between the City of Leander and Palmera Ridge Development, Inc. regarding the Development applies to this PUD.
 - Lots that are developed as SFL and have frontage on a street are not required to have a ROW of 56' or greater and pavement width of 36' or greater. A standard ROW of 50' with a pavement width of 25' will be acceptable for frontage on SFL lots.

Legend:
 TRAIL



December 16, 2013

Ms. Robin Griffin
Senior Planner
City of Leander
Planning Department
P.O. Box 319
Leander, 78646

RE: Palmera Ridge PUD Zoning Application

Dear Ms. Griffin,

Please accept this letter as our "Letter of Intent" for a mixed use/master planned development on the referenced property, as required by the City of Leander's PUD Zoning Application ("PUD"). The project, as described by the in the application, is approximately 197 acres of land, located at 17851 Ronald Reagan Boulevard.

Palmera Ridge encompasses 197.55 acres of land with a master plan comprising a maximum of 600 single family lots, a maximum of 15 acres of mixed use area (Commercial and or Multi Family uses) and more than 20 acres of parkland and natural open spaces. On December 5, 2013, the City Council approved a Development Agreement and Concept plan for Palmera Ridge ("Project"). The proposed PUD Zoning request is consistent with the attached Land Use Chart (Exhibit "F" to the Development Agreement).

The PUD zoning will allow Palmera Ridge the flexibility to utilize a combination of single family zoning categories contained within the City of Leander's Composite Zoning Ordinance and allow for a mixed uses (either commercial or multi- family) along the acreage located on the Ronald Reagan Boulevard frontage of the Project.

A brief summary of the Project attributes are as follows:

- Master Plan comprising a true mixed use project utilizing four different lot project types, commercial and or multi -family uses, parkland and natural open spaces.
- Over 20 acre of parkland and natural open spaces which are located and designed to preserve areas containing significant masses of hardwood trees on the Project.
- Over 1 mile of trails will be built within the project to connect each of the neighborhood sections to the parks, amenity center, open spaces and mixed use tracts. The proposed trails are built as a project amenity and required by the City's trail master plan.

- A private amenity center will be built alongside a Wet Pond on over 9 acres of land located at the entry to the project. The Amenity center will include a pool, playscape, pavilion and bathrooms with a budget in excess of \$1,000,000.
- A wet pond is visually more appealing than a dry pond and provides the required detention and water quality for the Project. The Wet pond will include a spray aerator system.
- All Single Family Homes will be constructed to architectural standards consistent with the City's Type "A" requirements.
- The Mixed Use area along Ronald Reagan Boulevard will allow for a combination of either commercial or multifamily uses. The mixed use area has been integrated into the overall plan as the south tract is immediately adjacent to the amenity site and wet pond in Section 1 and the north tract will share a rear access common private drive accessing the single family cluster product.
- A divided boulevard will be constructed from Ronald Reagan Boulevard into the single family area of the Project with beautiful landscaping and entryway monuments identifying the Palmera Ridge community on Ronald Reagan Boulevard.
- Over 1 mile of internal collector roads will be built within the Project and is planned to connect to San Gabriel Parkway thru a neighboring property.
- A rock wall system (similar to our walls in Parkside at Mayfield Ranch or Paloma Lake) will be constructed within a 25' landscaped parkway along either side of the collector roads. No homes will front on the collector road and all street facing sides of the homes backing or siding on the collector roads will be 100% masonry.

Thank you for your consideration of our PUD zoning request for Palmera Ridge. Please let me know if you have any questions or require additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Blake J. Magee', with a horizontal line extending to the right.

Blake J. Magee,
President
Palmera Ridge Development, Inc.

cc: Amy Lynn Payne – Blake Magee Company
Brent Jones – Randall Jones Engineering



EXECUTIVE SUMMARY

MARCH 27, 2014

-
- Agenda Subject:** Zoning Case 13-Z-027: Hold a public hearing and consider action on the rezoning of several tracts of land generally located to the Southwest of the intersection of San Gabriel Pkwy & US 183; 150.894 acres more or less; WCAD Parcels #R395875, R031699, R524552, and R525192. Currently, the property is zoned PUD (Planned Unit Development) and the applicant is proposing an amendment to the PUD, Leander, Williamson County, Texas.
- Background:** This request is the first step in the rezoning process.
- Origination:** Applicant: Mark Baker on behalf of Sentinel Cotter Leander LLC.
- Financial Consideration:** None
- Recommendation:** See Planning Analysis.
- Motion:** APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)
- DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.
- Attachments:**
1. Planning Analysis
 2. Current Zoning Map
 3. Aerial Map
 4. Proposed PUD
 5. Letter of Intent
- Prepared By:** Robin M. Griffin, AICP
Senior Planner
- 03/17/2014



PLANNING ANALYSIS

ZONING CASE 13-Z-027 OAK CREEK PUD

GENERAL INFORMATION

- Owner:** Sentinel Cotter Leander LLC.
- Current Zoning:** PUD/TOD (Planned Unit Development/Transit Oriented Development)
- Proposed Zoning:** PUD/TOD (Planned Unit Development/Transit Oriented Development)
- Size and Location:** The property located to the Southwest of the intersection of San Gabriel Pkwy & US 183 and includes approximately 150.894 acres in size.
- Staff Contact:** Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	PUD/TOD	Undeveloped Land located within the TOD
EAST	PUD/TOD	Undeveloped Land located within the TOD
SOUTH	SFU-2-B SFC-2-B GC-3-C PUD/TOD	Established Single-Family Homes Single-Family Homes under construction (Northside Meadow) Undeveloped Property zoned for commercial Plain Elementary School
WEST	OCL	Established Single-Family Homes (Benbrook Ranch)

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:

PUD – PLANNED UNIT DEVELOPMENT:

The purpose and intent of the Planned Unit Development (PUD) district is to design unified standards for development in order to facilitate flexible, customized zoning and subdivision standards which encourage imaginative and innovative designs for the development of property within the City. The intent of this zoning request is to provide for the design of a development which permits a mixed-residential community. The intent of this zoning district is to cohesively regulate the development to assure compatibility with adjacent single-family residences, neighborhoods, and commercial properties within the region.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Plan for continued growth and development that improves the community’s overall quality of life and economic viability.
- Provide for a variety of sustainable housing options for all age groups and economic levels. Determine ways to successfully integrate this variety within neighborhoods so as to accommodate the different needs of families throughout their life cycle. Create more desirable and livable neighborhoods while respecting the goal of maintaining stable real estate values and housing marketability.
- Establish high standards for development.

ANALYSIS:

The applicant is requesting the PUD (Planned Unit Development) district in order to allow for the development of a mixed residential community that will include a variety of housing types as well as multi-family development. The proposal includes detached residential lot widths ranging from as narrow as forty (40’) feet to over sixty (60’) feet wide and attached townhomes. The applicant has incorporated the mixture of residential districts in a well integrated neighborhood plan providing a variety of lot sizes within the same neighborhood.

The PUD proposal includes the following base zoning districts: SFU-2-B (Single-Family Urban), SFC-2-B (Single-Family Compact), SFL-2-B (Single-Family Limited), SFT-2-B (Single-Family Townhome), and MF-2-B (Multi-Family).

The table below identifies the proposed development standards for the residential zoning districts, setbacks, and lot sizes for this project. The primary difference between the Composite Zoning Ordinance and the proposed PUD is the lot size and the setbacks associated with the SFL-2-B district. The ordinance currently requires the lot width to be 41 feet and the minimum lot size to be 4100 square feet. The applicant is proposing an alley loaded product associated with the SFL-2-B district and is requesting reduced rear and front setbacks. In addition, each zoning district is required to have a minimum of 100 units to ensure a variety of housing types. The density of the MF-2-B district is limited to 12 units per acre. The MF-2-B and SFT-2-B

districts are limited to townhomes and/or cluster detached single-family condominiums. Traditional style apartment complexes are not permitted.

	RESIDENTIAL USES			
	DETACHED 50 ft. & wider lot (SFC/SFU)	DETACHED narrower than 50 ft. lot (SFL base, alley loaded)	ATTACHED Townhome (SFT base, alley loaded)	CLUSTER / MF (Setbacks are for perimeter)
Lot Area (minimum)	5,500 s.f.	4,000 s.f.	1,800 s.f.	n/a
Lot Width (minimum)	50 ft.	40 ft.	20 ft.	n/a
Front Setback (minimum)	20 ft. (25' street facing garage)	15 ft.	10 ft.	20 ft.
Side Setback (minimum)	5 ft.	5 ft.	0 ft./10 ft.	10 ft. building separation
Street Side Setback (minimum)	15 ft. (20' street facing garage)	15 ft.	15 ft.	20 ft.
Rear Setback (minimum)	15 ft.	6 ft.	6 ft.	20 ft.
Lot Depth (minimum)	110 ft.	100 ft.	90 ft.	n/a

All residential properties within the SFC-2-B and SFU-2-B base zoning districts shall comply with Article 8, Conventional Zone of the 2005 Leander SmartCode. This section states that 100% of all first story walls shall be stone, stucco, or brick and 80% of the overall structure is stone, stucco, or brick. The properties with the base zoning districts of SFL-2-B and MF-2-B are proposed to be native stone (or synthetic equivalent), brick, stucco, split faced block (for piers, foundation walls and chimneys), wood lap siding, or Hardi Plank siding (equivalent or better) and shall comply with Exhibit D of the PUD document.

Proposed Variations from the Composite Zoning Ordinance and/or Subdivision Ordinance:

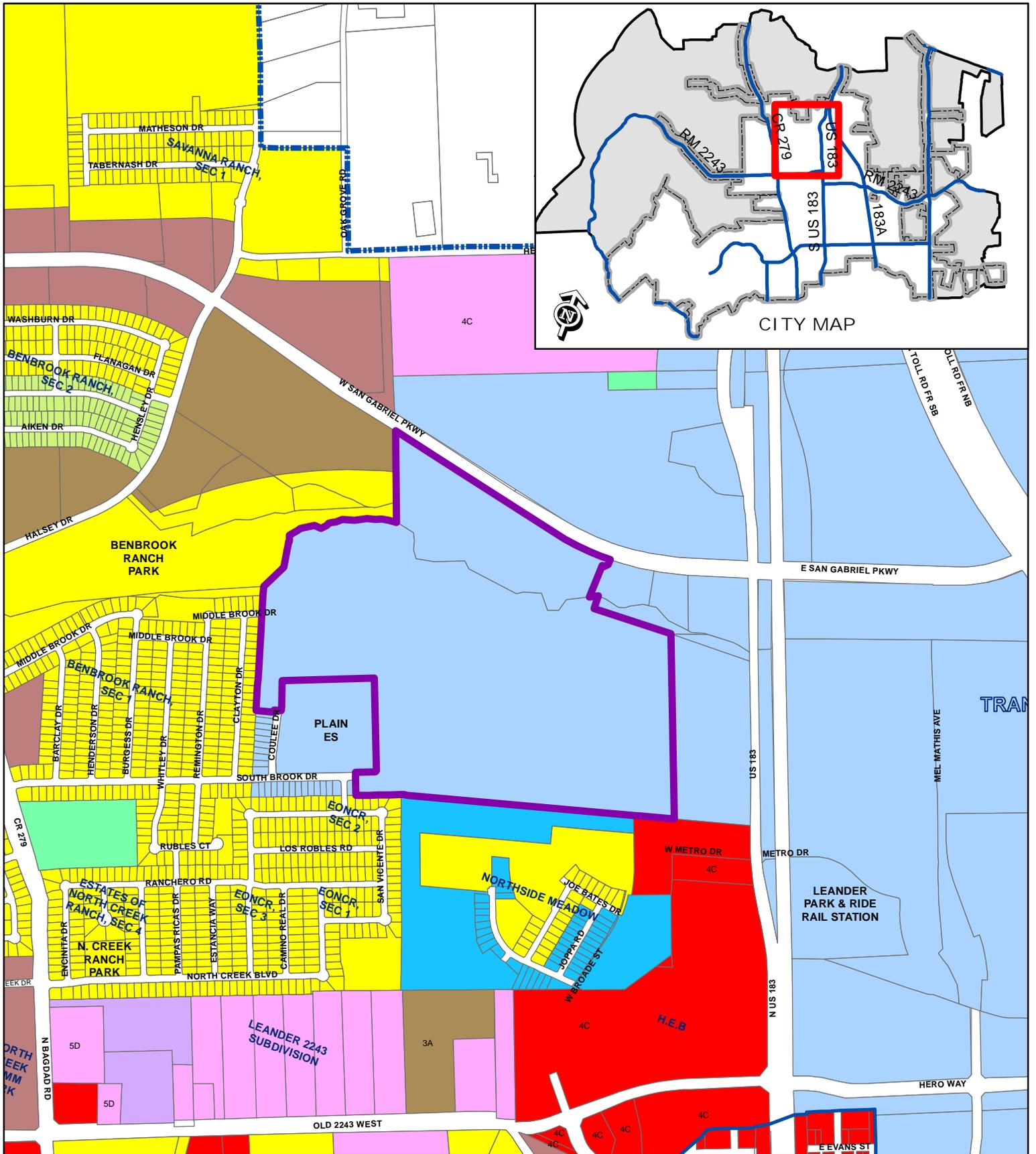
1. Reduced flag lot width for the water quality ponds from the required 25 feet to 15 feet.

Additional Standards Not Required by the Composite Zoning Ordinance:

1. Construction of a 6 foot tall masonry wall with columns adjacent to lots that back or side onto West Broade Street. Wrought iron fencing with masonry columns is allowed in locations where views into the neighborhood would be desirable.
2. All lots which back onto parks or floodplain areas shall utilize 6 foot, wrought iron view fencing.

STAFF RECOMMENDATION:

Staff recommends approval of the requested PUD. The proposed PUD promotes more flexibility with the location of the single-family districts and incorporates a mixture of multi-family and single-family townhome uses as a transition from W Broade Street towards US 183. This application effectively utilizes composite zoning to incorporate a variety of land uses while maintaining high form standards. The requested PUD meets the intent statements of the Composite Zoning Ordinance and the goals of the Comprehensive Plan.



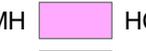
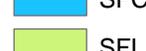
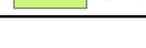
ZONING CASE 13-Z-027

Attachment #2

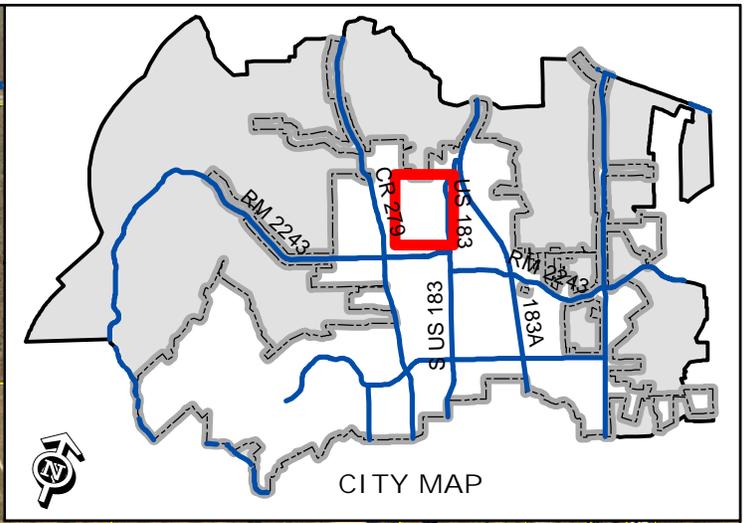
Current Zoning Map
Oak Creek PUD



-  Subject Property
-  City Limits
-  Future Annexation Per DA
-  Involuntary Annexation
-  Voluntary Annexation

- | | | | | | |
|---|-----|---|--------|---|-----|
|  | SFR |  | SFT |  | GC |
|  | SFE |  | SFU/MH |  | HC |
|  | SFS |  | TF |  | HI |
|  | SFU |  | MF |  | PUD |
|  | SFC |  | LO | | |
|  | SFL |  | LC | | |





ZONING CASE 13-Z-027 Attachment #3

Aerial Exhibit - Approximate Boundaries
Oak Creek PUD



- Subject Property
- City Limits

Oak Creek

**City of Leander, Texas
PUD Planned Unit Development**

December 18, 2013

February 11, 2014

March 20, 2014

**Applicant: Sentinel Cotter Leander, LLC
9111 Jollyville Road
Suite 212
Austin, Texas 78759**

**Prepared by: SEC Planning
4201 W. Parmer Lane
Building A, Suite 220
Austin, Texas 78727
512.246.7003**

Exhibit A

Oak Creek Planned Unit Development

A. Purpose and Intent

The Oak Creek PUD is composed of approximately 150 acres, as described in Exhibit B (Field Notes). The development of this property is planned as a high quality, residential community with a variety of residential product types.

Oak Creek has been designed to create walkable, pedestrian friendly neighborhoods. The contents of this PUD further explain and illustrate the overall appearance and function desired for this community. A Conceptual Site Layout and Land Use Plan has been attached to this PUD, Exhibit C, to illustrate the design intent for the property. The Conceptual Site Layout and Land Use Plan is intended to serve as a guide to illustrate the general community vision and design concepts and is not intended to serve as a final document. The Conceptual Site Layout and Land Use Plan depicts a mix of residential products and open space areas which are contemplated within the community.

B. Applicability and Base Zoning

All aspects regarding the development of this PUD shall comply with the City of Leander Composite Zoning Ordinance, except as established in this exhibit, titled Exhibit A.

For the purpose of establishing development standards for the PUD, base zoning districts have been selected from the Leander Composite Zoning Ordinance for the various residential products proposed within the PUD.

- *For Lots 60' and wider: Base Zoning District SFU Single Family Urban (SFU-2-B)*
- *For Lots 50'-59': Base Zoning District SFC Single Family Compact (SFC-2-B)*
- *For Lots 40'-49': Base Zoning District SFL Single Family Limited (SFL-2-B)*
- *For Single Family Townhomes: SFT – Single Family Townhouse (SFT-2-B)*
- *For Cluster Housing: MF – Multi Family (MF-2-B)*

This PUD allows the flexibility to mix the various residential products and define boundaries for each lot type during the platting process. Each plat or site plan submitted to the City will identify the use at the time of City Submittal. All neighborhoods within the PUD will comply with the modified development standards of this PUD. In the case that this PUD does not address a specific City requirement, the Leander Composite Zoning Ordinance shall apply. In the event of a conflict between this PUD and the base zoning district found in the Leander Composite Zoning Ordinance, this PUD shall control.

C. Conceptual Site Layout and Land Use Plan

Exhibit C attached is a conceptual development plan intended to visually convey the design intent for the Oak Creek community. The design of the community is not final, and is subject to refinement during the platting and site planning stages. This PUD zoning document does not constitute plat or site plan approval of the attached plan.

The Oak Creek project is comprised of a mix of various single family detached products as well as townhomes and cluster products. Oak Creek will include a cohesive network of open spaces, including parks, water quality areas, floodplain and trail corridors. The open space and trails system combined with the sidewalk network will be critical in establishing a walkable, inviting community.

The product placement within the community is planned to provide the following development pattern:

SFL Single Family Limited

Alley loaded, 40' lots will be located west of West Broade Street and adjacent to the southern boundary line which is shared with the Northside Meadow development. The extension of South Brook Drive will be faced with alley loaded product to provide an attractive architectural street scene which will ultimately connect to the adjacent TOD uses located along Highway 183. The alley loaded product will also reduce driveways along South Brook Drive to Plain Elementary School.

SFC Single Family Compact/SFU Single Family Urban

The area north of the alley loaded product and west of West Broade Street will contain a mix of 50', 60' and 70' conventional single family product types with access points to the central park and trail system. Extensions of Coulee Drive and Middle Brook Drive will connect into the new neighborhoods, providing a seamless connection to the adjacent Benbrook Ranch and Heritage Glen developments.

MF Multi Family/SFT Single Family Townhouse/Cluster

The parcels located east of West Broade Street are directly adjacent to the area designated as T5 on the City of Leander TOD map. The parcels are planned for higher density attached townhomes or cluster with a maximum density of 12 units per acre. The cluster product is a detached single family unit that is developed as a condo regime. If a cluster product is proposed, the site will be processed as a single lot site plan. The units will be sold as condos with common open space areas that are maintained by a Homeowners Association.

To ensure a variety and mix of residential product types within Oak Creek, the following standards have been established:

Residential Product Type Requirements

1. MF Multi Family/SFT Single Family Townhome(Cluster, Townhome)
 - Minimum of 100 units
2. SFL Single Family Limited-Alley Loaded lots

- Minimum of 100 units
- 3. SFC Single Family Compact – 50’ lots
 - Minimum of 100 units
- 4. SFU Single Family Urban-60’ lots
 - Minimum of 100 units

D. Allowable Uses

The uses allowed within the Oak CreekPUD shall comply with the list of permitted uses defined in Article III, Section 17 of the Leander Composite Zoning Ordinance for the appropriate base zoning district. Cluster housing shall be considered a single family, detached use which is permitted in a MF Multi Family base district with a maximum density of 12 units per acre.

E. Lot Design Standards

Residential Areas:

Oak Creek will include a variety of residential product types and sizes from detached single family homes to townhomes. The detached residential has been broken into two categories based upon lot width and size. The attached product has been grouped into one category and Cluster housing has been designated as an individual category. Detailed design standards are included within this PUD, Table E.1, based upon the type of residential product.

The Oak Creekdevelopment will comply with the Development Standards set forth in Table E.1

Table E.1 – Development Standards

	RESIDENTIAL USES			
	DETACHED 50 ft. & wider lot (SFC/SFU)	DETACHED narrower than 50 ft. lot (SFL base, alley loaded)	ATTACHED Townhome (SFT base, alley loaded)	CLUSTER/ MF (Setbacks are for perimeter)
Lot Area (minimum)	5,500 s.f.	4,000 s.f.	1,800 s.f.	n/a
Lot Width (minimum)	50 ft.	40 ft.	20 ft.	n/a
Front Setback (minimum)	20 ft. (25' street facing garage)	15 ft.	10 ft.	20 ft.
Side Setback (minimum)	5 ft.	5 ft.	0 ft./10 ft.	10 ft. building separation
Street Side Setback (minimum)	15 ft. (20' street facing garage)	15 ft.	15 ft.	20 ft.
Rear Setback (minimum)	15 ft.	6 ft.	6 ft.	20 ft.
Lot Depth (minimum)	110 ft.	100 ft.	90 ft.	n/a

F. Parkland/Open Space/Trails

Open space within Oak Creek will create a network of trails and parkland that creates distinct neighborhoods and provides pedestrian walkways throughout the community. The Oak Creek PUD will contribute approximately 31 acres of open space consisting of parks, floodplain, greenbelt trail corridors and water quality ponds. The parkland and proposed trails and amenities shall be consistent with the approved Concept Plan Sheet 2 Parkland Exhibit (Exhibit C).

The following criteria shall be considered allowable for parkland credit within Oak Creek.

1. Neighborhood Pocket Parks - Minimum of ½ acre
2. Minimum of 100' of street frontage
3. Water quality pond areas that are designed as an amenity
4. Open space trail corridors located along West Broade Street between the back of lots and the right of way

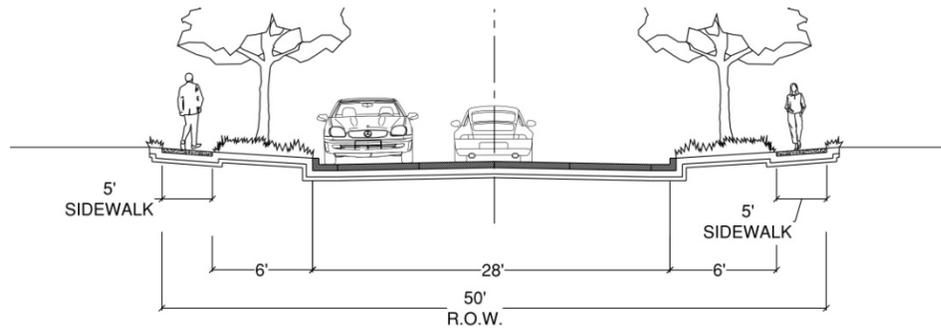
Oak Creek is located in close proximity to Benbrook Park. A primary 8' wide, concrete trail will be constructed within the floodplain which will provide a connection point for linkage between the Benbrook trail and West Broade Street and from West Broade Street east and south to connect with South Brook Drive (see approved Concept Plan

Sheet 2 Parkland Exhibit). An additional 8' wide, concrete trail will be provided along the entire length of West Broade Street which will meander in and out of the right of way and adjacent open space corridor located on the western side of the roadway.

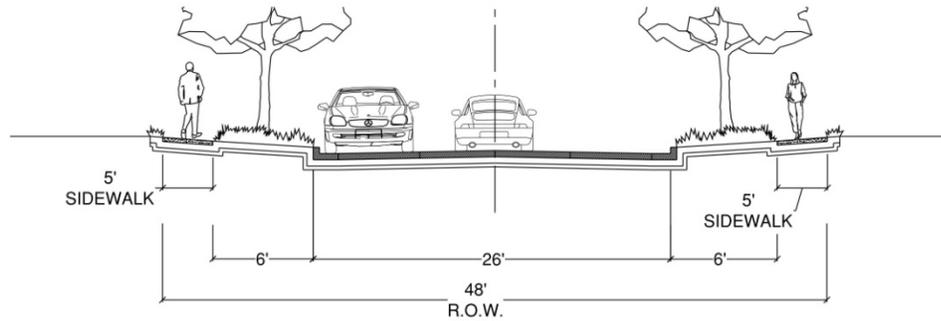
G. Roadway Design

The Oak Creek community will incorporate the following right of way standards.

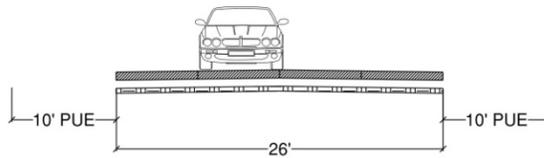
1. All single family detached roadways for base districts SFU Single Family Urban and SFC Single Family Compact shall utilize Primary Residential Street section ST-50-28 as defined in Table 10C of the Leander SmartCode.
2. All alley loaded residential product in base districts SFL Single Family Limited and SFT Single Family Townhouse shall utilize Primary Residential Street section ST-48-26 as defined in Table 10C of the Leander SmartCode.
3. All alleys shall conform to the RA-20 Rear Alley section as defined in Table 10C of the Leander SmartCode.
4. Streets within a Cluster Housing project will be private streets within a site plan. The pavement width shall be a minimum of 26 feet in width with 10 foot Public Utility Easements PUE on each side of the street.
5. Due to the pedestrian oriented design and emphasis on an attractive streetscape, several traffic calming measures are allowed within Oak Creek. A traffic circle shall be incorporated at the intersection of South Brook Drive and West Broade Street with a minimum radius of 70 feet.
6. Additional traffic calming islands shall be allowed along South Brook Drive. The minimum pavement width between landscape islands shall be 24 feet. Parallel parking shall be allowed on both sides of South Brook Drive with the driving lanes tapering at intersections to create traffic calming islands. Changes in paving material such as stamped concrete or pavers shall be allowed at the intersections and traffic circle.



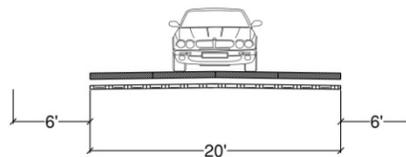
RESIDENTIAL STREET SECTION: ST-50-28



RESIDENTIAL STREET SECTION: ST-48-26



CLUSTER STREET



RESIDENTIAL ALLEY: RA-20

H. Architectural Criteria

All residential product within the SFC Single Family Compact and SFU Single Family Urban base zoning districts shall comply with Article 8, Conventional Zone of the 2005 Leander SmartCode.

All residential product within the SFL Single Family Limited, SFT Single Family Townhouse and Multi Family base zoning districts shall comply with Article 6, Tables 21A, 21B, 21C, 21D, 21E, 21F, 21G, 21H, 21J, 21K, 21L and 21M of the 2005

Leander SmartCode. See Exhibit D of this PUD for the tables. Masonry standards for the SFL, SFT and MF base districts are defined in Table 21A of Exhibit D and require building walls to be finished in native stone (or synthetic equivalent), brick, stucco, split faced block (for piers, foundation walls and chimneys), wood lap siding, or Hardi Plank siding (equivalent or better)

I. Walls and Fencing

All lots within Oak Creek which back or side onto West Broade Street shall have a solid, 6 foot tall masonry wall with columns located along the rear or side lot line. Wrought iron fencing with masonry columns is allowed in locations where views into the neighborhood would be desirable.

All lots which back onto parks or floodplain areas shall utilize 6 foot, wrought iron view fencing.

J. Flag Lots

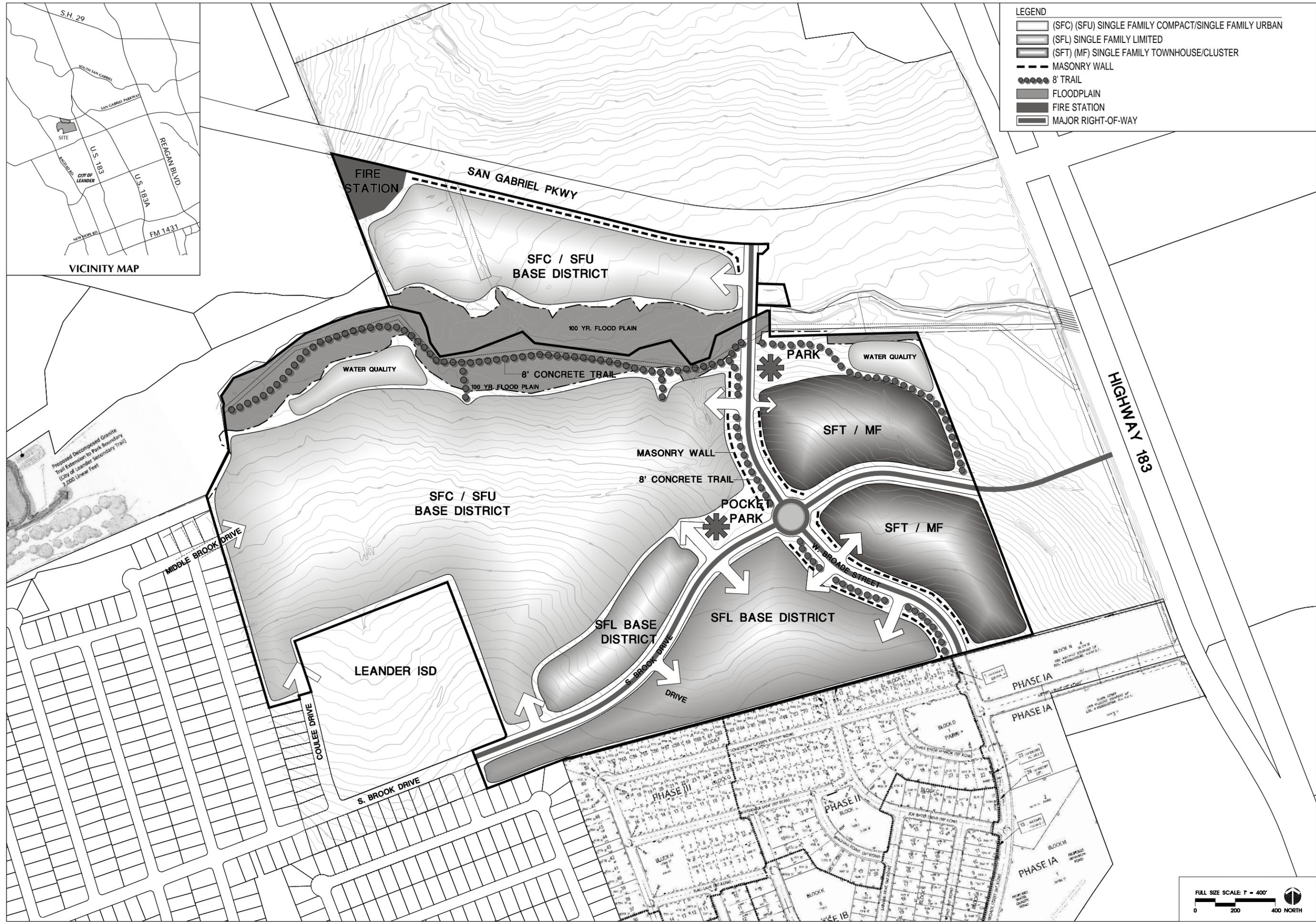
In order to provide a legal lot for the water quality ponds within Oak Creek, the minimum flag lot width shall be 15 feet. This provision shall not apply to residential lots.

Exhibit B

Field Notes

Exhibit C

Conceptual Site Layout and Land Use Plan



LEGEND

- (SFC) (SFU) SINGLE FAMILY COMPACT/SINGLE FAMILY URBAN
- (SFL) SINGLE FAMILY LIMITED
- (SFT) (MF) SINGLE FAMILY TOWNHOUSE/CLUSTER
- MASONRY WALL
- 8' TRAIL
- FLOODPLAIN
- FIRE STATION
- MAJOR RIGHT-OF-WAY

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10100 AVERY CLUB DRIVE
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**EXHIBIT C
CONCEPTUAL SITE LAYOUT
AND LAND USE PLAN
OAK CREEK
LEANDER, TEXAS**

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Issued:

1. PUD Submittal	12/20/13
2.	
3.	
4.	

Revisions:

1. PUD Plan Revision	02/11/14
2. PUD Plan Revision	03/20/14
3.	
4.	

Issue Date: December 20, 2013

Drawn By: MB
Reviewed By: MB

Project No.
130078-SELA

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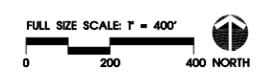


Exhibit D

Architectural Standards Tables

LEANDER	6*STANDARDS & TABLES	SMARTCODE
TABLE 21A • ARCHITECTURAL STANDARDS		
WALLS & MASSING		
a. Materials		
Building Walls:	Shall be finished in native stone (or synthetic equivalent), brick, stucco, split-faced block (for piers, foundation walls and chimneys), wood lap siding, or Hardi Plank siding (equivalent or better).	
Frontage Walls & Stoops:	Shall match or be compatible with the materials of the associated buildings.	
Frontage Fences & Walls:	Shall be built entirely of wood, metal in a cast-iron style, native/regional stone (or equivalent synthetic), brick, or stucco. May have masonry or stucco piers and base. Colors shall match local precedent or standard.	
b. Configurations		
Building Walls:	Shall show no more than two materials on any exterior wall, not counting the foundation wall or piers. Heavier materials shall be located below horizontal joints. Vertical joints between materials shall only occur at inside corners. Exterior building walls shall be a minimum of 9' in height on the main level.	
Stone:	Shall be laid with the stones in a horizontal orientation to resemble structural stone walls.	
Stucco:	Shall be cement or synthetic and may be integral color or painted. Finish shall be smooth or sand-finish; heavy lace is prohibited. EIFS shall not be installed within 3' of the ground.	
Brick:	Shall be properly detailed and installed in load-bearing configurations. Brick shall course exactly to both the top and bottom of all wall openings. Textured brick is prohibited.	
Siding:	Shall be clapboard or lap siding, and shall be painted. Vinyl siding and faux wood grain is prohibited.	
Frame Wall/Masonry Base Alignment:	Face of stud of frame walls shall align with face of masonry of foundation wall below. Horizontal ledges between wood frame wall and masonry base are prohibited.	
Trim:	Shall be indistinguishable from wood when painted, and shall be sized appropriately to its location. Corner boards shall not exceed 1x6.	
Masonry Arches & Piers:	Shall be no less than 12" x 12" in plan view.	
Color:	Shall be selected according to building style and Central Texas precedent.	

TABLE 21B • ARCHITECTURAL STANDARDS

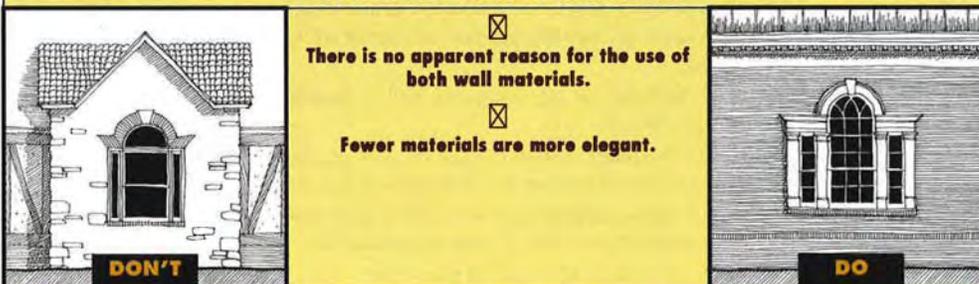
WALLS & MASSING

a. Simplicity of Massing

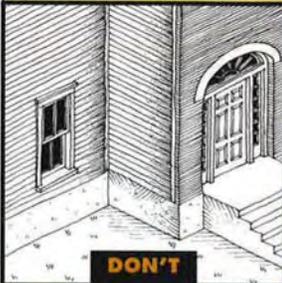


The root of the Texas Hill Country architectural massing is simplicity. The buildings that are the foundation of most styles are a simple volume, or an assembly of simple volumes.

b. Number of Wall Materials

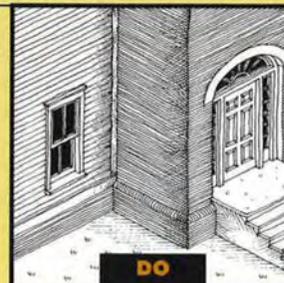


No more than two wall materials shall be visible on any exterior wall, not including the foundation wall or piers. Construction was once more difficult and expensive than it is now, so builders tried to use simple construction systems. They may have enriched the buildings with ornament, but the basic construction system was usually simple. Because of this, most walls were built of one material or maybe two, not counting the foundation & trim work. Today, however, the public realm is often so poor that people feel compelled to clutter the walls of buildings with as many materials and shapes as possible in hopes of creating "street appeal" since the street itself has little appeal. Unfortunately, the result is often cluttered and unappealing.

TABLE 21C • ARCHITECTURAL STANDARDS**WALLS & MASSING****a. Wall Material Joints**

☒
Changing materials at outside corners look pasted-on.

☒
Vertical joint properly located at inside corner.

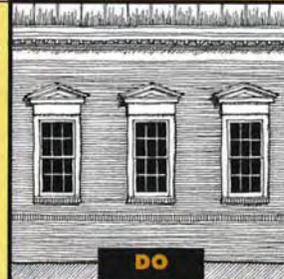


Heavier, more basic, or more unadorned materials should occur below a horizontal joint, such as rough stone below brick or brick below wood siding. Buildings should become lighter and more adorned as they approach the sky. Vertical joints between different materials shall occur only at inside corners except in rare instances that are appropriate to the style. This naturally occurred when additions to buildings were built of a different material. It is common in some areas to see original houses of wood, for example, with additions of brick or stone because the family became more prosperous over the years. Material changes at outside corners gives the entire building an aura of cheapness and shall not be permitted.

b. Wall Heights

☒
8' ceilings prevent proper execution of most styles.

☒
Dignified walls such as these are only possible with taller walls.



8' tall walls should never be used except in rare cases when they are appropriate to the architectural language. Principal rooms of even the humblest houses had relatively tall ceilings until the mid-1920's. It is almost impossible to detail a house properly with low 8' tall walls with rafters above.

TABLE 21D • ARCHITECTURAL STANDARDS**DOORS & WINDOWS****a. Materials**

Doors:	Shall be wood or clad wood for residential, and may also be steel or extruded aluminum for commercial use.
Garage Doors:	Shall be wood, clad wood, metal, or composite.
Windows:	Shall be wood, vinyl-clad wood, aluminum-clad wood, and solid PVC, but all must be indiscernible from wood at arm's length. Commercial windows may also be extruded aluminum or hollow steel frame. All windows shall have clear glass. Stained glass is permitted in residential and religious use.
Storefronts:	Shall be wood, custom metalwork, extruded aluminum, or hollow steel frame. Natural and bronze aluminum storefronts are prohibited.
Bay Windows:	Shall be trimmed with a single vertical jamb casing that extends from the window sash to the corner of the bay.
Shutters:	Shall be wood, fiber-cement, or solid PVC, and shall be indiscernible from wood at arm's length.

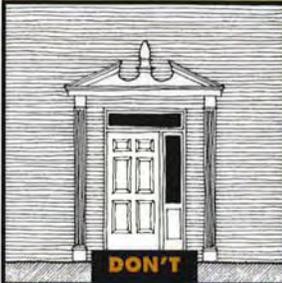
b. Configurations

Doors:	Shall be side-hinged except garage doors, which may be sectional. Sliders shall not be visible from streets, sidewalks, or public spaces. The style of the front door shall match the building style.
Garage Doors:	Shall be a maximum of 9' in width if visible from streets, sidewalks, or public spaces. Alley-accessed garages may have 16' wide doors.
Windows:	Shall be single-hung, double-hung, triple-hung, casement, or fixed. The style of the windows shall match the building style. Window openings and panes shall be vertically proportioned or square. Flush mounted windows are prohibited.
Storefronts:	Shall be single panes of glass not larger than 6' high by 5' wide. Storefronts shall allow a minimum 60% of surface view into the building.
Bay Windows:	Shall extend to the ground or be supported by visible brackets.
Shutters:	Shall be exactly one-half the width of, and the same height of the associated opening. All shutters shall be louvered, paneled, or constructed of boards as appropriate to the style of the building.
Casing:	Shall never be narrower than 3 1/2" except on masonry walls. Mullion casing shall never be narrower than 3 1/2" regardless of location. Brick shall never be visible between a door or window and its casing. Head casing shall be equal to or wider than jamb casing, and shall not be less than 1/6 the opening width.

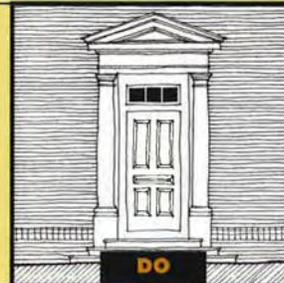
TABLE 21E • ARCHITECTURAL STANDARDS

DOORS & WINDOWS

a. Entry Surrounds



- ☒ Under-sized frames with improper materials.
- ☒ Substantial entry surrounds give the door presence.

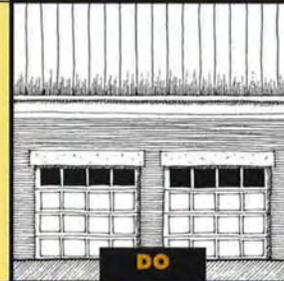


Entry surrounds should be substantial. Typical 3-1/2" frames diminish the presence of the door. Head casing shall always be wider than jamb casings, except in rare cases where it's not appropriate to the style. Material between casing and door shall always be frame material, and shall never be masonry.

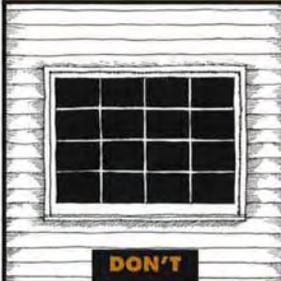
b. Garage Door Size



- ☒ Double-wide garage doors lack pleasing proportions.
- ☒ Single doors are more flexible.

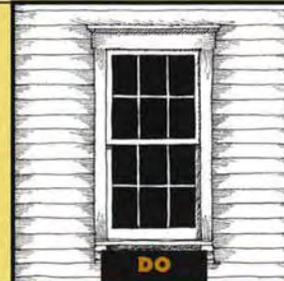


Double garage doors (16' wide) are discouraged over individual single garage doors for several reasons. First, double doors look unnaturally wide due to their proportions. Second, double doors often sag more and sooner than single doors because they span a greater distance. Double doors shall not be permitted unless from an alley-access.

TABLE 21F • ARCHITECTURAL STANDARDS**DOORS & WINDOWS****a. Window Proportions**

☒ Horizontally proportioned windows look awkward.

☒ There are many possible designs of vertical windows.

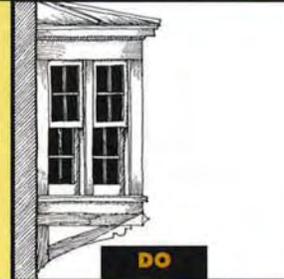


Windows shall be vertically proportioned or square. Square, round or semi-circular windows may be used high on a wall or on a roof. Most vernacular architecture employs windows with the proportion of either the human face or the entire human body. Generally, the more relaxed or informal languages use windows of a human face proportion (3:2). The more formal languages favor windows proportioned more like the entire human body (2:1 to 3:1 or sometimes a little taller).

b. Bay Window Support

☒ Bays without visible support look precarious.

☒ Brackets are one means of providing visual support.



Bay windows shall either extend to the ground or be supported by visible brackets of appropriate size.

TABLE 21G • ARCHITECTURAL STANDARDS**ROOFS & EAVES****a. Materials**

Metal Roofing:	Shall be flat between the primary ribs with no striations or pencil ribs.
Shingle Roofing:	Shall be slate, wood, wood shakes, or equivalent synthetic or better.
Tile Roofing:	Shall be clay, concrete or metal.
Flat Roofs:	Shall be commercial quality roofing.
Ridge Caps:	Shall be appropriate to the type of roofing. Bulbed ridge caps shall be used with 5V metal roofing, and standing seam ridge caps shall be of the lowest profile possible.
Eaves:	May be wood, stucco, or EIFS. Vinyl and sheet aluminum are prohibited. The eave return cap shall be built of continuous, un-seamed metal flashing.
Gutters & Downspouts:	Shall be copper, galvanized steel, or aluminum if exposed.
Dormers:	Shall never have siding as jamb material. Dormer jamb material should be a solid casing assembly from the window to the corner of the dormer wall. Brick shall only be used for a dormer face when it forms a parapet at the top of the dormer.

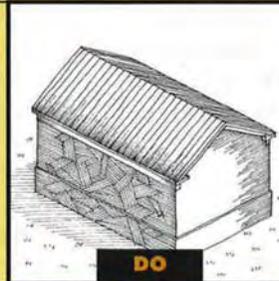
b. Configurations

Principal Roofs:	Where sloped, shall be a symmetrical gable or hip. Slope shall fall within a range of not more than 15%. Flat roofs shall be surrounded by a horizontal parapet wall no less than 30" higher than the highest point of the roof deck.
Ancillary Roofs:	Slopes shall be between 1/3 and 1/2 the primary roof slope.
Gables:	Shall not be overlapping except when the smaller gable is part of a balcony, porch, or entrance.
Bay Roofs:	Shall be distinct from the primary roof, and return on themselves at each end.
Skylights:	Shall be flat.
Eaves:	Shall be as continuous as possible, both horizontally and vertically. Exposed rafter tails shall not exceed 6" in height. The trim immediately below the cornice shall not be a crown mould. It shall be a bed mold or similar shape. Eaves shall return around the corner and die into the wall without the common "pork chop" return. Brackets shall extend to the fascia or slightly beyond. A frieze board shall occur below the eave.
Gutters & Downspouts:	Shall be half-round or ogee shaped.
Dormers:	Shall have roof trim beginning at the window head and shall be composed of a head casing, soffit, and fascia at a minimum. Siding shall never be used above a window head except in the triangular space enclosed by the pediment of a gable-front dormer. The body of a single-window dormer shall be vertically proportioned or square. The total width of the dormer roof shall be 25% to 40% larger than the width of the dormer body.

TABLE 21H • ARCHITECTURAL STANDARDS**ROOFS & EAVES****a. Eave Continuity**

⊗
Erratic eaves are irrational.

⊗
Simple, continuous eaves are understandable.



Eave lines shall be simple and continuous unless there is a logical reason for a break.

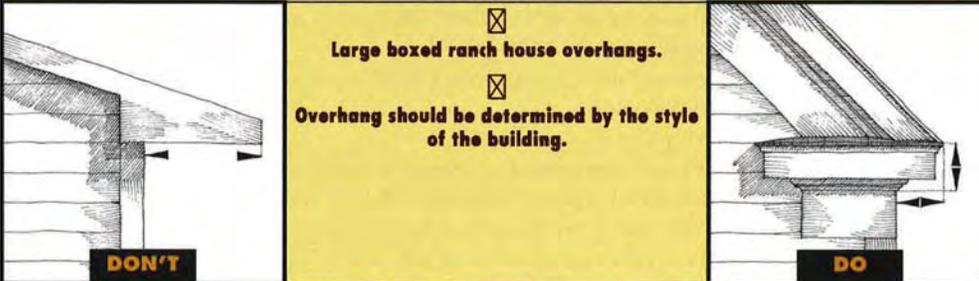
b. Overlapping Gables

⊗
Improper.

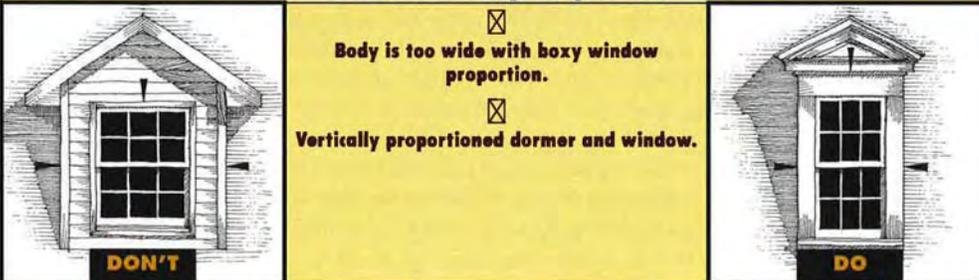
⊗
Arts & Crafts architecture is one of the very few appropriate locations for overlapping gables.



Overlapping gables should only be used when the smaller gable is part of a balcony, porch or entrance, or in the rare instances when they are appropriate to the style. For example, Arts & Crafts is one of the few styles where overlapping gables are appropriate.

TABLE 21J • ARCHITECTURAL STANDARDS**ROOFS & EAVES****a. Eave Overhang & Enclosure**

Eave overhangs shall be appropriate to the style of the building. Formal styles may have closed eaves if appropriate to the style of the building, but vernacular buildings should have open eaves. Exposed rafter tails shall not exceed 6" in height.

b. Dormer Body Proportion

The body of a single-window dormer shall be vertically proportioned or square. Dormer windows shall be proportioned slightly shorter than typical windows in the floor below.

TABLE 21K • ARCHITECTURAL STANDARDS**ATTACHMENTS****a. Materials**

Columns & Posts:	Shall be made of wood, composite metal, native stone (or synthetic equivalent). Extruded aluminum is prohibited.
Porch Beams:	Shall be wood, fiber-cement, stone, concrete, stucco or EIFS. The grain or texture shall be horizontal.
Porch Ceilings:	Shall be wood, fiber-cement, or stucco.
Balconies & Railings:	Shall be wood, fiber-cement, or metal. The railing material shall not be heavier in appearance than the primary element of the balcony.
Chimneys:	Shall be sheathed in brick, stone, or stucco when visible.
Flues:	Shall be clay tile or galvanized metal left natural, or painted black.
Signs:	Shall be wood, composite, or metal unless painted on the building wall or window.
Awnings:	Shall be non-translucent canvas on a light metal frame.

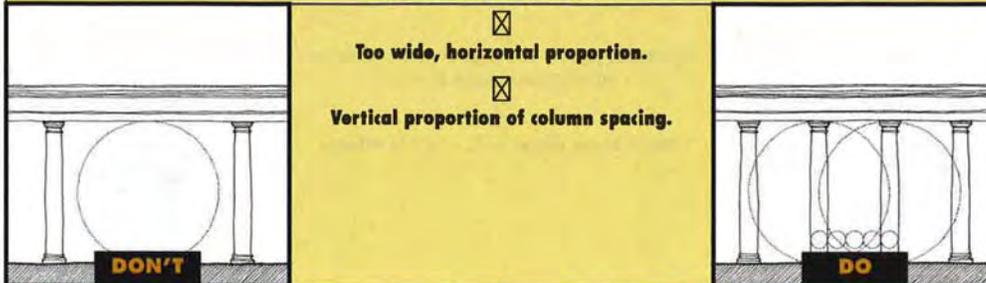
b. Configurations

Intercolumniation:	Shall be vertically proportioned.
Posts:	Shall be no less than 6" x 6" in cross section.
Face of Column or Post:	Shall align with the face of beam above.
Column Base:	Shall not protrude beyond the edge of the porch flooring. The outer edge of the base should align with the face of the pier or foundation below.
Porch Beams:	Shall be visible from both the inside and the outside of the porch. Seams between beam face and bottom of built-up beams shall occur beneath the beam.
Balconies:	Shall project no more than 3' from the face of the building and shall be visually support by brackets.
Railings:	Shall have both top and bottom rails, with bottom rails clearing the floor. Balusters shall be centered on the rails and spaced no more than 4" clear.
Chimneys:	Shall have a projecting cap, and extend to the ground if located on an outside wall.
Attached Signs:	Shall be one of the following: band sign, board sign, window sign, or painted wall sign. Attached signs shall be no more than 3' high and shall not be backlit or more than 12' above the sidewalk.
Blade Signs:	Shall be attached perpendicular to the façade. Blade signs may project up to 5' from the wall, and the top of the sign shall occur between 9' and 12' above the sidewalk. The blade sign shall not exceed 18" in height.
Awnings:	Shall be sloped rectangles without end panels or curved or sloped shapes with end panels.

TABLE 21L • ARCHITECTURAL STANDARDS

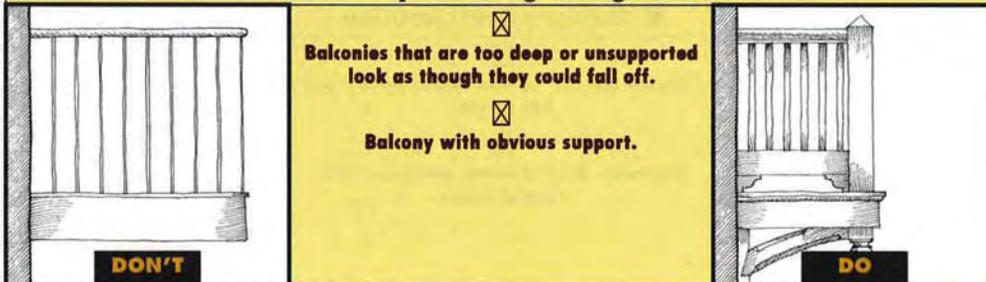
ATTACHMENTS

a. Intercolumniation

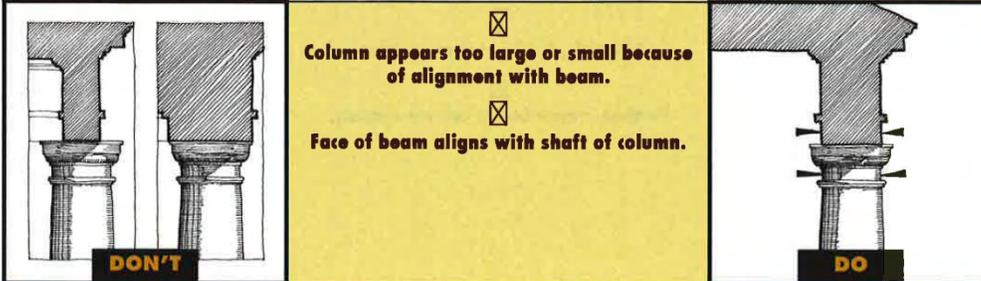


Eave lines should be simple and continuous unless there is a logical reason for a break.

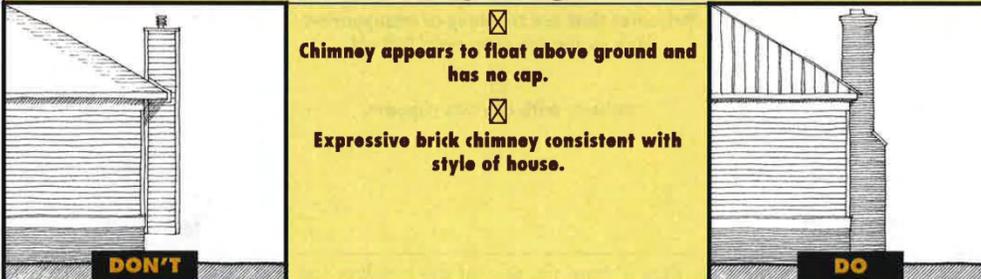
b. Balcony & Railing Configuration



Balconies shall project no more than 3' from the face of the building and shall be visually supported by brackets. Railings shall have both top & bottom rails, with bottom rails clearing the floor. Balusters shall be centered on the rails and spaced at no more than 4" apart from one another.

TABLE 21M • ARCHITECTURAL STANDARDS**ATTACHMENTS****a. Column to Beam Alignment**

The face of the beam shall always align with the face of the top of the column. Renaissance architects put forth the idea that there were certain canonical ways of constructing the classical orders, and that there should be very little variation in their design. Later archaeology demonstrated the tremendous variety of the classical orders of antiquity, effectively dispelling this notion. The relationship of the column to the entablature, however, was an exception. It is nearly impossible to find examples of classical or even good vernacular architecture that violates this rule. Simply stated, the top of the column shaft should align flush with the face of beam or architrave above. Think of the simplest of columns and beams: if a 6" square wood post is used to support a 6" square wood beam, there is no doubt that the face of beam would be set flush with face of column. There is no reason to move the beam if trim is added to the column.

b. Chimney Configuration

Chimneys shall extend to the ground and have a projecting cap. Wood faced chimneys are prohibited.



ATTACHMENT #5

December 18, 2013

City of Leander Planning Department
104 North Brushy Street
PO Box 319
Leander, Texas 78646-0319

Re: Oak Creek TOD PUD Letter of Intent

Please find attached an application for PUD zoning for the Oak Creek Project, generally located at San Gabriel Parkway and Highway 183. The proposed Project is located within the Conventional Zone of the TOD. The applicant is requesting a variety of single family product types ranging from 40' wide lots to 60' wide lots. The project is also providing townhome and cluster home development adjacent to the higher intensity TOD zones to the east.

The applicant is proposing to use the City base zoning districts of SFU, SFC, SFL, TH and MF. All single family lots less than 50' in width, as well as townhouses will be rear loaded with alleys. The architectural standards for all product will be in compliance with the TOD SmartCode criteria.

The Project will provide a variety of amenities for the Leander community. An 8' wide concrete trail will be located along the floodplain connecting to Benbrook park. An 8' trail will also extend along West Broade Street and connect to the adjacent southern development, Northside Meadow. A traffic circle at the intersection of South Brook Drive and West Broade Street will provide traffic calming and internal pocket parks will create new recreation opportunities for the future residents.

Additional information describing the Project is contained within the attached Oak Creek PUD and Preliminary Plan. Thank you for considering this new Leander community.

Sincerely,

Mark Baker
Principal



EXECUTIVE SUMMARY

MARCH 27, 2014

Agenda Subject: Subdivision Case 13-TOD-S2-PP-01: Hold a public hearing and consider action on the Oak Creek Preliminary Plat for 151.3 acres more or less; WCAD Parcels #R395875, R031699, R524552, and R525192; generally located to the Southwest of the intersection of San Gabriel Pkwy & US 183; Williamson County, Texas.

Background: This request is the second step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the preliminary plat satisfies the applicable regulations without requesting any variances that require approval of the Planning & Zoning Commission.

Origination: Applicant/Agent: Jim Huffcutt, P.E. on behalf of Sentinel Cotter Leander LLC.

Financial Consideration: None

Recommendation: This preliminary plat includes 446 single-family residential lots, 2 townhome/cluster development lots, 1 fire station lot, 17 parkland lots, and 1 drainage lot. This proposal meets all of the requirements of the Subdivision Ordinance and staff recommends approval.

Motion: The Planning & Zoning Commission recommends approval of the preliminary plat for the subject property.

Attachments: 1. Oak Creek Preliminary Plat

Prepared By: Robin M. Griffin
Senior Planner

03/20/2014

REVISIONS			
No.	Revision Description	Prepared by:	(Date) Reviewed by: (Date)

GENERAL NOTES:

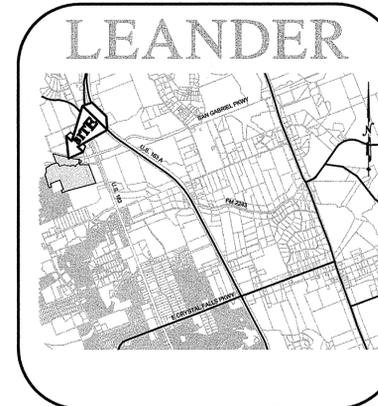
- CONSTRUCTION PLANS AND SPECIFICATIONS FOR ALL SUBDIVISION IMPROVEMENTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF LEANDER PRIOR TO ANY CONSTRUCTION WITHIN THE SUBDIVISION.
- ALL SUBDIVISION CONSTRUCTION AND BUILDING SETBACKS SHALL CONFORM TO THE CURRENT CITY OF LEANDER CODE OF ORDINANCES, CONSTRUCTION STANDARDS, AND GENERALLY ACCEPTED ENGINEERING PRACTICES.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF LEANDER. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF LEANDER WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- ALL WATER AND WASTEWATER SERVICE TO BE PROVIDED BY THE CITY OF LEANDER.
- SITE DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY OF LEANDER PRIOR TO ANY CONSTRUCTION.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT.
- PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY CITY OF LEANDER.
- ALL EASEMENTS ON PRIVATE PROPERTY AND AMENITY, H.O.A., DRAINAGE AND DETENTION LOTS/EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS. THE HOMEOWNER'S ASSOCIATION WILL MAINTAIN ALL LANDSCAPE LOTS.
- IN ADDITION TO THE EASEMENT SHOWN HEREON, A TEN (10) FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG AND ADJACENT TO ALL RIGHT-OF-WAY AND A 2.5 (FT) PUBLIC UTILITY EASEMENT ALONG ALL SIDE LOT LINES.
- COMMUNITY IMPACT FEES FOR INDIVIDUAL LOTS TO BE PAID IN COMPLIANCE WITH THE PLANNED UNIT DEVELOPMENT AGREEMENT.
- DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION AND MODIFICATIONS TO EXISTING UTILITIES.
- TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED AS REQUIRED FOR OFF-SITE WATER, WASTEWATER AND DRAINAGE IMPROVEMENTS.
- NO DRIVEWAY SHALL BE CONSTRUCTED CLOSER THAN 50- FEET TO THE EDGE OF PAVEMENT OF AN INTERSECTING OR COLLECTOR STREET OR NO CLOSER THAN 60% OF THE LOT FRONTAGE.
- THIS SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE. DEVELOPMENT OF THE SITE WILL COMPLY WITH ALL APPLICABLE TCEQ EDWARDS AQUIFER RULES.
- AT THE TIME OF THE FINAL PLAT, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY OF LEANDER IN THE AMOUNT OF \$126.00 PER RESIDENTIAL UNIT.
- ALL STREETS WITHIN THE SUBDIVISION SHALL BE POSTED AT 30 MPH.
- SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS IN THE SUBDIVISION AND ON THE SUBDIVISION SIDE OF ALL PUBLIC RIGHTS OF WAY. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR THE INDUSTRIAL LOT (INCLUDING SIDEWALKS ALONG STREET FRONTAGES OF LOTS PROPOSED FOR SCHOOLS, CHURCHES, PARK LOTS, DRAINAGE LOTS, LANDSCAPE LOTS OR SIMILAR LOTS), SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED. SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
- PARKLAND TO BE IN ACCORDANCE WITH THE PLANNED UNIT DEVELOPMENT.
- FISCAL SURETY FOR SUBDIVISION CONSTRUCTION, IN A FORM ACCEPTABLE TO THE CITY OF LEANDER, SHALL BE PROVIDED PRIOR TO PLAT APPROVAL BY THE PLANNING AND ZONING COMMISSION.
- NO OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS.
- FOR LOTS LESS THAN SIXTY FEET WIDE AND ZONED SFC, OR SFT, RESIDENTIAL STREET FACING GARAGES SHALL BE LOCATED NO CLOSER TO THE STREET THAN FIVE FEET IN FRONT OF THE DWELLING OR ROOF COVERED PORCH, WITH SUCH DWELLING OR PORCH STRUCTURE BEING NOT LESS THAN SEVEN FEET WIDE FOR ALL PORTIONS OF THE STRUCTURE ADJACENT TO THE GARAGE. FOR ALL OTHER LOTS, RESIDENTIAL STREET FACING GARAGES SHALL BE LOCATED NO CLOSER TO THE STREET THAN THE DWELLING.
- THE OAK CREEK TRACT IS LOCATED IN THE BRUSHY CREEK WATERSHED.
- ALL EASEMENTS OF RECORD ARE SHOWN AS PER CURRENT TITLE COMMITMENT.
- A PORTION OF THIS PROPERTY IS WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN.
- THIS PROJECT LOCATED WITHIN THE CITY OF LEANDER CITY LIMITS.
- THIS PRELIMINARY PLAT IS SUBJECT TO A PLANNED UNIT DEVELOPMENT.
- ALL UTILITY LINES WITHIN THE SUBDIVISION ARE REQUIRED TO BE UNDERGROUND.
- SINGLE FAMILY RESIDENTIAL LOTS ADJACENT TO AN ARTERIAL STREET (SAN GABRIEL PKWY.) SHALL COMPLY WITH ART. VI, SEC. 8 OF THE COMPOSITE ZONING ORDINANCE AND ARE PROHIBITED BY NOTE FROM HAVING DIRECT ACCESS FROM AN ARTERIAL STREET. THE FOLLOWING IS REQUIRED: A LANDSCAPE LOT IS PROVIDED BETWEEN THE LOTS AND SAN GABRIEL PKWY. SUCH LANDSCAPE LOT IS AT LEAST TEN (10) FEET WIDE (THE FOLLOWING NOTE IS INCLUDED ON THE PLAT):
FOR EVERY SIX HUNDRED (600) SQUARE FEET OF AREA IN THE LANDSCAPE LOTS 1, 21, BLOCK A AND LOT 1, BLOCK P, TWO (2) SHADE TREES (TWO-INCH CALIPER OR LARGER) AND FOUR (4) SHRUBS (FIVE GALLON CONTAINER SIZE OR LARGER) SHALL BE PLANTED AND MAINTAINED. TWO ORNAMENTAL TREES PER SHADE TREE MAY BE SUBSTITUTED FOR UP TO FIFTY PERCENT OF THE SHADE TREES IF DESIRED. A SIX-FOOT PRIVACY FENCE, BUT NO HIGHER THAN THREE FEET WITHIN TWENTY FIVE FEET OF AN INTERSECTING STREET, SHALL BE CONSTRUCTED WITH THE SUBDIVISION IMPROVEMENTS AT THE COMMON LOT LINE BETWEEN THE LANDSCAPE LOT AND THE SINGLE-FAMILY OR TWO-FAMILY LOTS. THE FENCE IS REQUIRED TO BE CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING MATERIALS:
TEXTURED PRE-CAST CONCRETE (E.G. WOODCRETE), BRICK, STONE, CAST STONE, STUCCO, FACTORY TINTED (NOT PAINTED) SPLIT-FACED CONCRETE MASONRY UNIT, OR OTHER SIMILAR MATERIAL APPROVED BY THE DIRECTOR OF PLANNING. ALL COLUMNS ARE REQUIRED TO HAVE CONCRETE FOOTINGS. THE LANDSCAPE LOT IS REQUIRED TO BE MAINTAINED BY A PRIVATE ASSOCIATION.
- ACCESS TO SAN GABRIEL PKWY IS PROHIBITED FROM RESIDENTIAL LOTS.
- ANY INCREASE IN THE RATE OF RUNOFF OR IN THE WATER SURFACE ELEVATION OF THE FLOODPLAIN WILL BE MITIGATED THROUGH DETENTION OR OTHER APPROPRIATE MEASURE.
- DEVELOPER WILL PROVIDE A ROADWAY ADEQUATE FEE AS REQUIRED BY THE EXECUTED DEVELOPMENT AGREEMENT TO ESTABLISH ROADWAY ADEQUACY PAYMENTS.
- ALL EASEMENTS OF RECORD ARE SHOWN OR NOTED ON THE PRELIMINARY PLAT AS FOUND IN THE TITLE COMMITMENT, PREPARED BY STEWART TITLE GUARANTY COMPANY (GEORGETOWN TITLE COMPANY, INC.)
G.F. NO: 130068550A EFFECTIVE DATE: 8/7/2013 ISSUED 8/16/2013 AND TITLE AND COMMITMENT PREPARED BY: STEWART TITLE GUARANTY COMPANY (GEORGETOWN TITLE COMPANY, INC.)
G.F. NO: 130068369A EFFECTIVE DATE: 6/12/2013 ISSUED 6/20/2013.

OAK CREEK PRELIMINARY PLAT

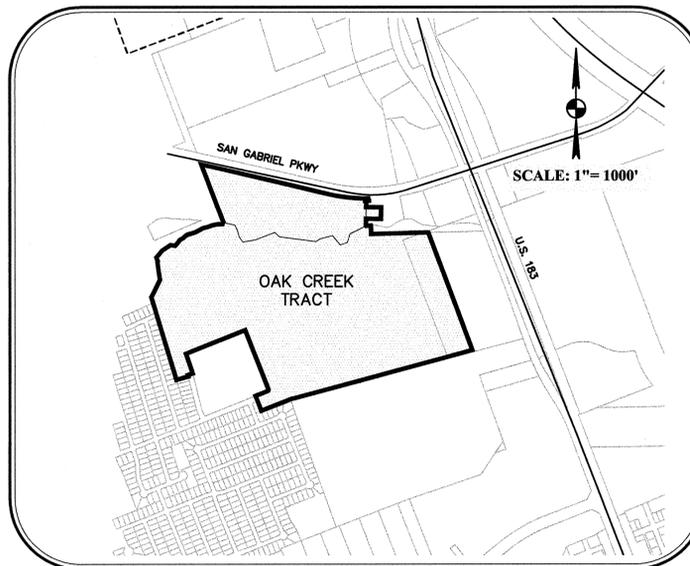
LEANDER, TEXAS

BEARINGS BASED ON N.A.D. 1983
TEXAS STATE PLANE COORDINATE SYSTEM
ESTABLISHED FOR THE CENTRAL ZONE

MARCH 2014



VICINITY MAP
NOT TO SCALE



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THE 100-YEAR FLOOD IS CONTAINED WITHIN THE DRAINAGE EASEMENTS AS SHOWN HEREON. A PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN OF ANY WATERWAY THAT IS WITHIN THE LIMITS OF STUDY OF THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM COMMUNITY PANEL NO(s). 4849IC0455E, DATED SEPTEMBER 26, 2008, WILLIAMSON COUNTY, TEXAS AND INCORPORATED AREAS.

OWNER:

SENTINEL COTTER LEANDER, LLC
700 LAVACA STREET, SUITE 900
AUSTIN, TEXAS 78701
(949) 922-2512

ENGINEER:

PAPE-DAWSON ENGINEERS, INC.
7800 SHOAL CREEK BLVD., SUITE 220-W
AUSTIN, TEXAS 78757
(512) 454-8711
FAX (512) 459-8867

SURVEY:

PAPE-DAWSON ENGINEERS, INC.
7800 SHOAL CREEK BLVD., SUITE 220-W
AUSTIN, TEXAS 78757
(512) 454-8711
FAX (512) 459-8867



7800 SHOAL CREEK BLVD | AUSTIN TEXAS 78757 | PHONE: 512.454.8711
SUITE 220 WEST | FAX: 512.459.8867
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	OVERALL EXISTING CONDITIONS
3	PHASING PLAN
4	PRELIMINARY PLAT (SHT 1 OF 3)
5	PRELIMINARY PLAT (SHT 2 OF 3)
6	PRELIMINARY PLAT (SHT 3 OF 3)
7	DRAINAGE STUDY (SHT 1 OF 3)
8	DRAINAGE STUDY (SHT 2 OF 3)
9	DRAINAGE STUDY (SHT 3 OF 3)
10	DRAINAGE CALCULATIONS
11	STORM DRAIN SYSTEM (SHT 1 OF 3)
12	STORM DRAIN SYSTEM (SHT 2 OF 3)
13	STORM DRAIN SYSTEM (SHT 3 OF 3)
14	SAND FILTER 1
15	SAND FILTER 1 CROSS SECTIONS
16	SAND FILTER 2
17	SAND FILTER 2 CROSS SECTIONS
18	SAND FILTER 3
19	SAND FILTER 3 CROSS SECTIONS
20	WET BASIN 4
21	WET BASIN 4 CROSS SECTIONS
22	OVERALL UTILITY LAYOUT (SHT 1 OF 3)
23	OVERALL UTILITY LAYOUT (SHT 2 OF 3)
24	OVERALL UTILITY LAYOUT (SHT 3 OF 3)
25	TREE LOCATION & AERIAL
26	PARKLAND PLAN



DATE: MARCH, 2014

I, JUAN C. BRIZUELA, P.E. #99981, DO HEREBY CERTIFY THAT THE ENGINEERING WORK BEING SUBMITTED HEREIN COMPLIES WITH ALL THE PROVISIONS OF THE TEXAS ENGINEERING PRACTICE ACT, INCLUDING 131.152 (e). I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT, AND MAY RESULT IN CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PENALTIES AGAINST ME, AS AUTHORIZED BY THE ACT.

SUBMITTED BY:



Juan C. Brizuela
PAPE-DAWSON ENGINEERS
JUAN C. BRIZUELA, P.E. #99981
PROJECT ENGINEER

03/19/14 DATE

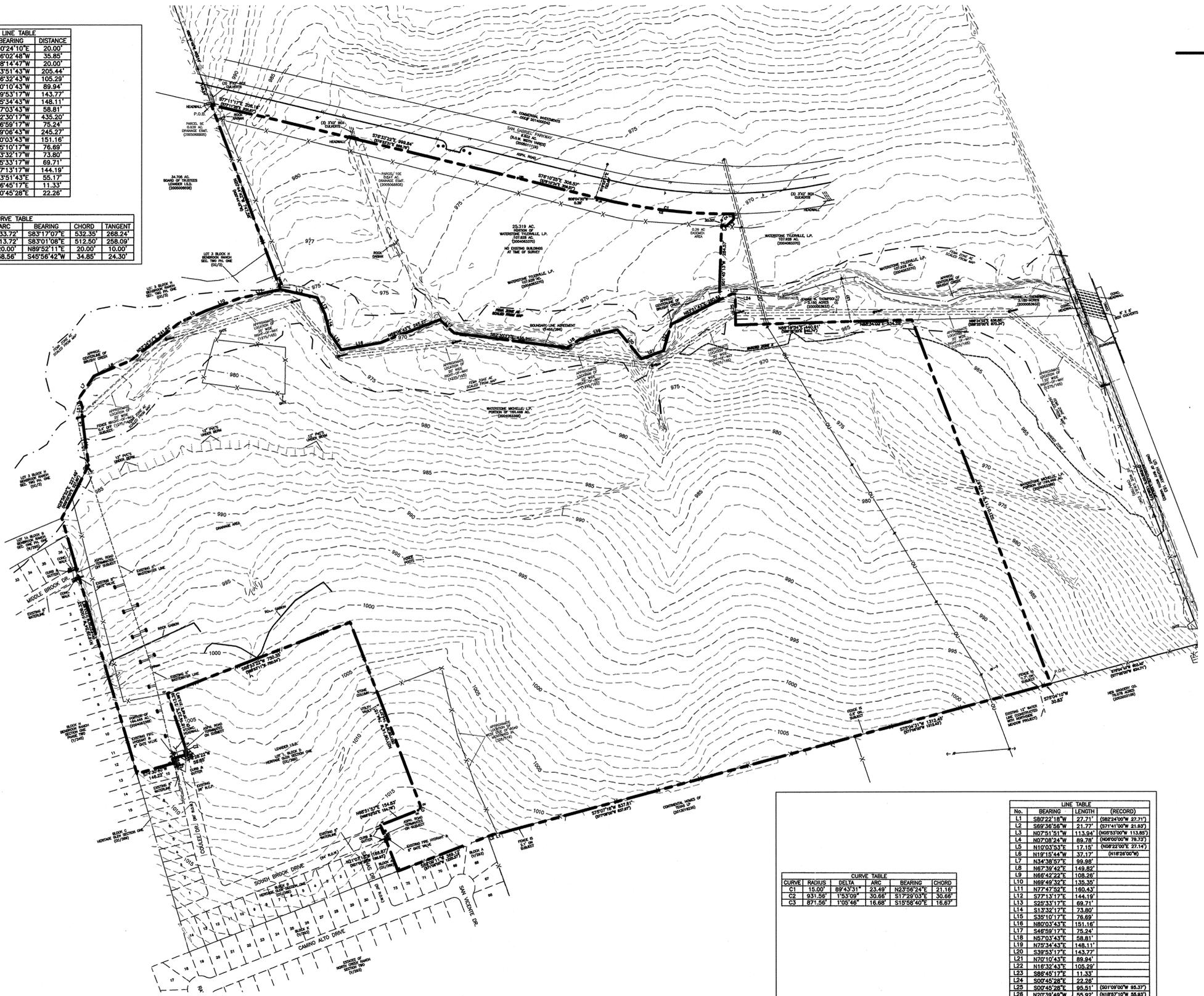


G.E. Buchanan
PAPE-DAWSON ENGINEERS
G.E. BUCHANAN, P.L.S.
REGISTERED PROFESSIONAL
LAND SURVEYOR #45999
03/19/2014 DATE

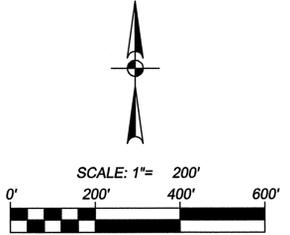
LINE	BEARING	DISTANCE
L1	S00°24'10"E	20.00'
L2	S46°02'48"W	35.85'
L3	N89°14'47"W	20.00'
L4	S63°51'43"W	205.44'
L5	S16°32'43"W	105.29'
L6	S70°10'43"W	89.94'
L7	N39°53'17"W	143.77'
L8	S79°34'43"W	148.11'
L9	S57°03'43"W	58.81'
L10	N82°30'17"W	435.20'
L11	N46°59'17"W	75.24'
L12	S69°06'43"W	245.27'
L13	S80°03'43"W	151.16'
L14	N35°10'17"W	76.89'
L15	N13°32'17"W	73.80'
L16	N25°33'17"W	69.71'
L17	N77°13'17"W	144.19'
L18	N63°51'43"E	55.17'
L19	S86°45'17"E	11.33'
L20	S00°45'28"E	22.28'

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD	TANGENT
C1	2150.00'	14°13'24"	533.72'	S83°17'07"E	532.35'	268.24'
C2	2150.00'	1°41'25"	613.72'	S83°01'08"E	612.50'	258.09'
C3	2150.00'	0°31'59"	20.00'	N89°52'11"E	20.00'	10.00'
C4	25.00'	88°22'56"	38.56'	S45°56'42"W	34.85'	24.30'

LEGEND
 - - - - - OAK CREEK BOUNDARY



No.	BEARING	LENGTH	(RECORD)
L1	S89°22'18"W	27.71'	(S89°22'18"W 27.71')
L2	S89°36'56"W	21.77'	(S89°36'56"W 21.77')
L3	N07°51'51"W	113.94'	(N07°51'51"W 113.94')
L4	N07°08'24"W	89.78'	(N07°08'24"W 89.78')
L5	N10°03'33"E	17.15'	(N10°03'33"E 17.15')
L6	N19°15'44"W	37.17'	(N19°15'44"W 37.17')
L7	N34°38'57"E	99.88'	(N34°38'57"E 99.88')
L8	N62°39'42"E	149.82'	(N62°39'42"E 149.82')
L9	N86°42'22"E	108.26'	(N86°42'22"E 108.26')
L10	N69°49'32"E	135.35'	(N69°49'32"E 135.35')
L11	N77°47'52"E	184.43'	(N77°47'52"E 184.43')
L12	S77°13'17"E	144.19'	(S77°13'17"E 144.19')
L13	S29°33'17"E	69.71'	(S29°33'17"E 69.71')
L14	S13°32'17"E	73.80'	(S13°32'17"E 73.80')
L15	S39°10'17"E	76.89'	(S39°10'17"E 76.89')
L16	N80°03'43"E	151.16'	(N80°03'43"E 151.16')
L17	S46°59'17"E	75.24'	(S46°59'17"E 75.24')
L18	N57°03'43"E	58.81'	(N57°03'43"E 58.81')
L19	N79°34'43"E	148.11'	(N79°34'43"E 148.11')
L20	S39°53'17"E	143.77'	(S39°53'17"E 143.77')
L21	N70°10'43"E	89.94'	(N70°10'43"E 89.94')
L22	N16°32'43"E	105.29'	(N16°32'43"E 105.29')
L23	S86°45'17"E	11.33'	(S86°45'17"E 11.33')
L24	S00°45'28"E	22.28'	(S00°45'28"E 22.28')
L25	S00°45'28"E	35.85'	(S00°45'28"E 35.85')
L26	N02°30'43"W	55.92'	(N02°30'43"W 55.92')
L27	N11°52'18"W	168.04'	(N11°52'18"W 168.04')



REVISIONS:



PAPE-DAWSON ENGINEERS
 7890 SHOAL CREEK BLVD
 SUITE 220 WEST
 AUSTIN TEXAS 78757
 PHONE: 512.454.8711
 FAX: 512.458.6867
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

**OAK CREEK
 PRELIMINARY PLAT
 OVERALL EXISTING CONDITIONS**

JOB NO. 50784-00
 DATE FEBRUARY 2014
 DESIGNER WT
 CHECKED JTB DRAWN WT/GD
 SHEET 2 OF 26

DATE: Feb 14, 2014, 1:55PM USER ID: GDIXON
 FILE: H:\PROJECTS\50784\00500 PRELIMINARY\CI\EX0784-00.DWG

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DATE: MAR 12, 2014, 8:55PM, USER ID: GBDIXON
 FILE: H:\PROJECTS\3507\3507 PRELIM\PHASING\PHASING.PLT

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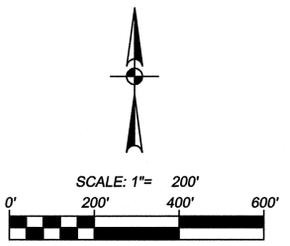


PHASING / TIMING					
SECTION NAME	SINGLE FAMILY LOTS	TOWNHOME/CLUSTER/FIRE STATION/ALLEYS (LOTS)	PARKLAND/DRAINAGE LOTS	DATE	ZONING DISTRICT
PHASE 1	-	-	9	MARCH 2014	-
PHASE 2	189	2	3	JUNE 2014	SFC/SFL
PHASE 3	194	5	3	DECEMBER 2014	SFC/SFL
PHASE 4	63	1	3	MARCH 2015	SFC
PHASE 5	-	1	-	JUNE 2015	MF/SFT
PHASE 6	-	1	-	JUNE 2015	MF/SFT

NOTE: REFER TO PLANNED UNIT DEVELOPMENT DOCUMENT FOR LAND USE DESIGNATIONS.

LAND USE SUMMARY		
USE	NO. OF LOTS	TOTAL ACRES
SINGLE FAMILY/RESIDENTIAL	(40%) = 147 (60%) = 194 TOTAL = 341	71.8
TOWNHOUSE/CLUSTER	2	17.81
FIRE STATION	1	2.25
RIGHT-OF-WAY	-	23.74
FLOOD PLAIN / PARKLAND	-	12
PARKLAND	17	20.71
DRAINAGE	1	0.18
ALLEYS	7	2.8
TOTAL	474	151.3

LEGEND
 PARKLAND = ± 33.0 AC



REVISIONS:

09/13/14
 JUAN C. BRIZUELA
 99981
 REGISTERED PROFESSIONAL ENGINEER

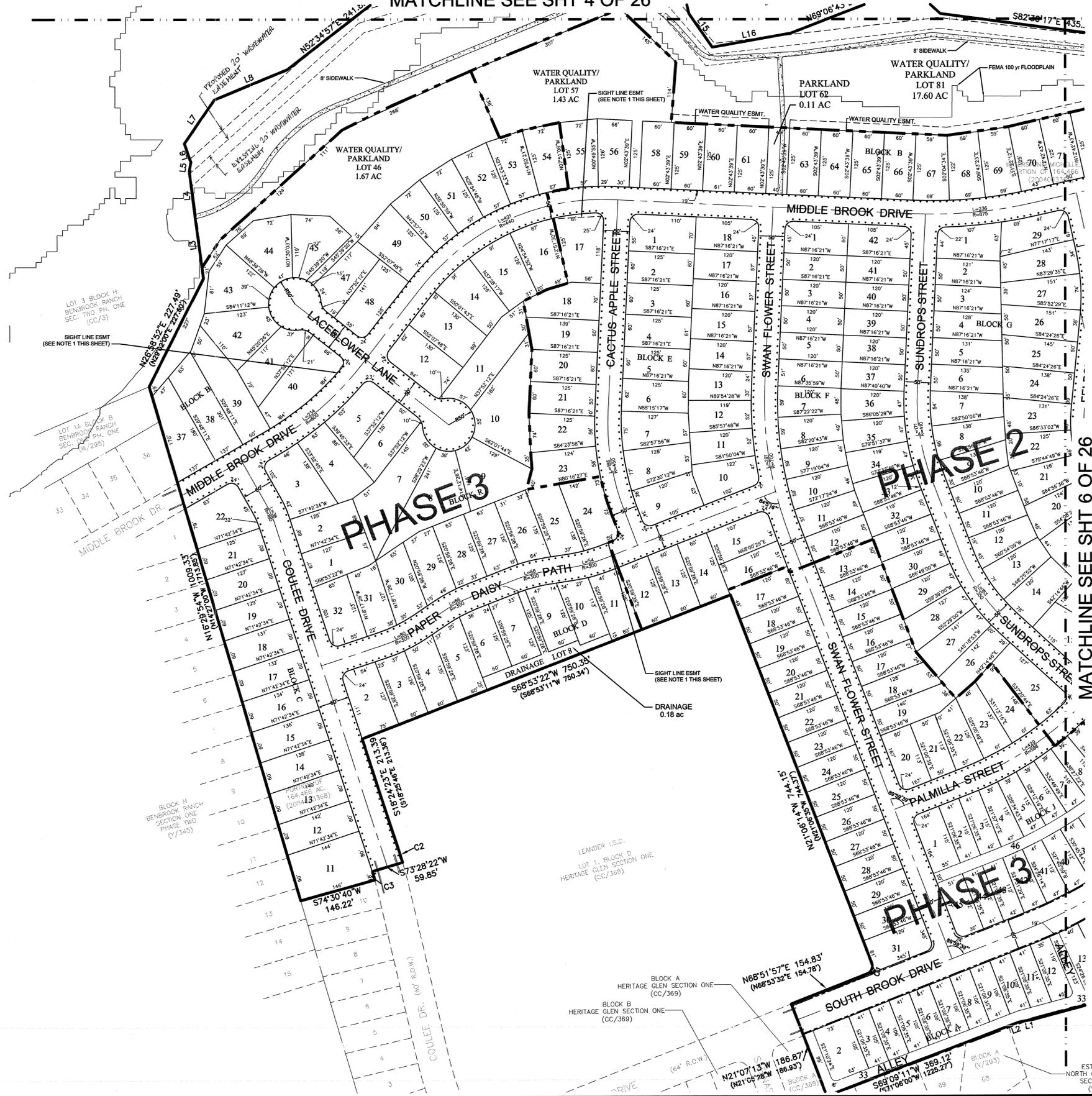
PAPE-DAWSON ENGINEERS

7800 BUCKLE CREEK BLVD. SUITE 220 WEST AUSTIN, TEXAS 78757
 PHONE: 512.454.8711 FAX: 512.454.8687
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
 PRELIMINARY PLAT
 PHASING PLAN

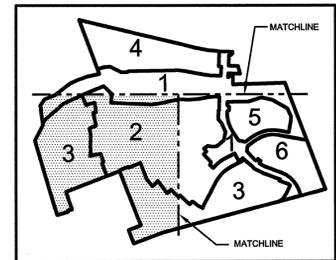
JOB NO. 50784-00
 DATE MARCH 2014
 DESIGNER WT
 CHECKED DRAWN GAD
 SHEET 3 OF 26

MATCHLINE SEE SHT 4 OF 26

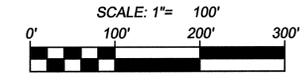


LEGEND

- PROPOSED BOUNDARY
- PROPOSED PHASING
- 5' SIDEWALK
- 6' SIDEWALK
- 8' SIDEWALK



PRELIMINARY PHASING PLAN



SEE SHEET 3 FOR PHASING AND LAND USE SUMMARY

NOTE:

1. WITHIN A SIGHT LINE EASEMENT ANY OBSTRUCTION OF SIGHT LINE BY VEGETATION, FENCING, EARTHWORK, BUILDINGS, SIGNS, OR ANY OTHER OBJECT WHICH IS DETERMINED TO CAUSE A TRAFFIC HAZARD IS PROHIBITED AND MAY BE REMOVED BY ORDER OF THE TRAVIS COUNTY COMMISSIONERS COURT AT THE OWNERS EXPENSE. THE PROPERTY OWNER IS TO MAINTAIN AN UNOBSTRUCTED VIEW CORRIDOR WITHIN THE BOUNDS OF SUCH EASEMENT AT ALL TIMES.

REVISIONS:



PAPE-DAWSON ENGINEERS

7800 SHILOH CREEK BLVD. SUITE 200 WEST AUSTIN TEXAS 78757
 PHONE: 512.454.6711 FAX: 512.450.6857
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

OAK CREEK
 PRELIMINARY PLAT
 PRELIMINARY PLAT (SHT 2 OF 3)

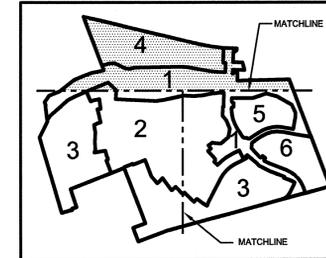
JOB NO.	50784-00
DATE	MARCH 2014
DESIGNER	WT
CHECKED	JTB
DRAWN	WT/GD
SHEET	5 OF 26

DATE: Mar 12, 2014, 7:01PM USER: ID: GDWON
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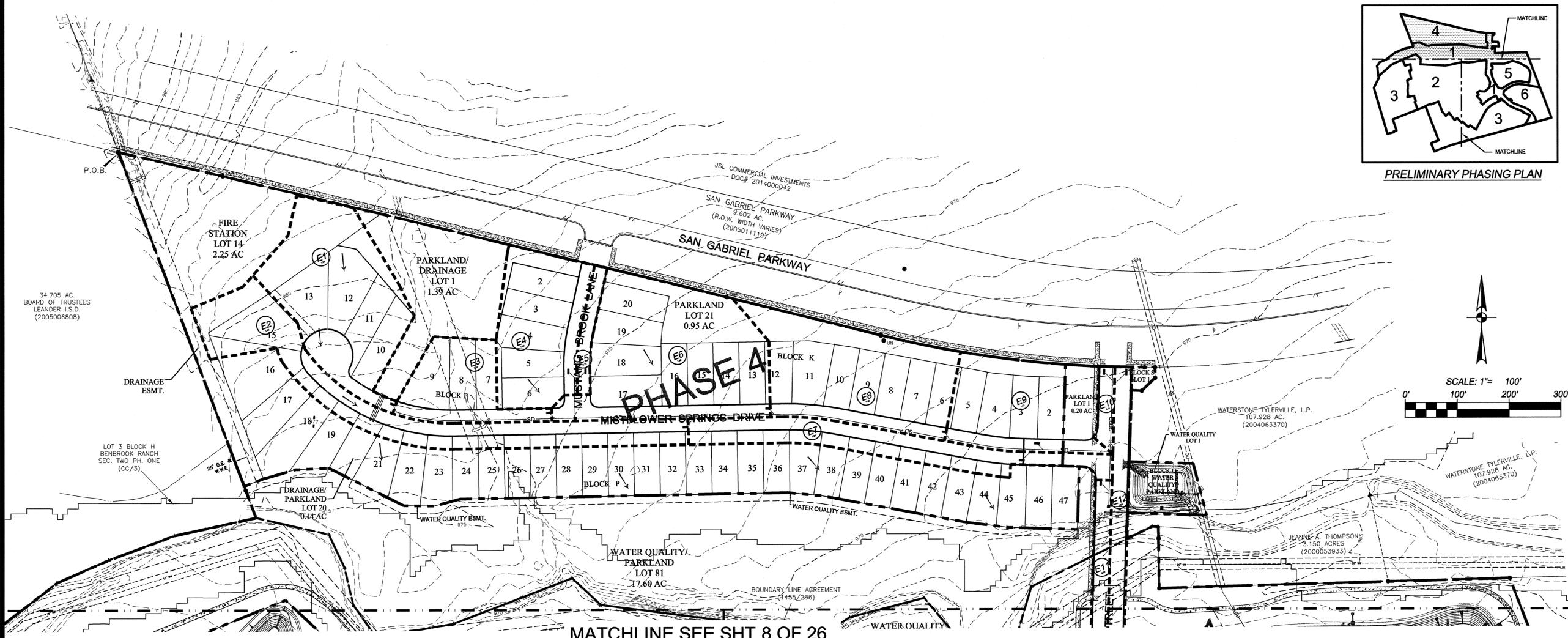
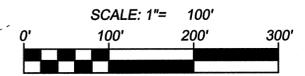
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LEGEND

- BORHO BOUNDARY
- - - PROPOSED PHASING
- - - - PROPOSED DRAINAGE AREA
- FLOW ARROW



PRELIMINARY PHASING PLAN



MATCHLINE SEE SHT 8 OF 26

REVISIONS:



PAPE-DAWSON ENGINEERS

7000 BIVAL CREEK BLVD | SUITE 200 WEST | AUSTIN, TEXAS 78757 | PHONE: 512.464.8711 | FAX: 512.468.8867

TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

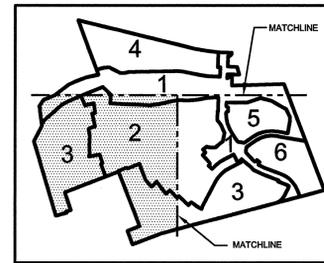
**OAK CREEK
PRELIMINARY PLAT
DRAINAGE STUDY (SHT 1 OF 3)**

JOB NO.	50784-00
DATE	MARCH 2014
DESIGNER	WT
CHECKED	WT
DRAWN	WT/GD
SHEET	7 OF 26

DATE: Mar 12, 2014, 6:09PM USER: GDONOV FILE: H:\PROJECTS\50784\50784-PRELIM\DWG\50784-00.DWG

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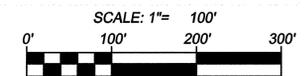
MATCHLINE SEE SHT 7 OF 26



PRELIMINARY PHASING PLAN

LEGEND

- BORHO BOUNDARY
- - - PROPOSED PHASING
- - - PROPOSED DRAINAGE AREA
- FLOW ARROW



REVISIONS:

1/1/14



7800 BHOAL CREEK BLVD
SUITE 220 WEST
AUSTIN, TEXAS 78757
PHONE: 512.454.8711
FAX: 512.459.8867
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
PRELIMINARY PLAT
DRAINAGE STUDY (SHT 2 OF 3)

JOB NO. 50784-00
DATE MARCH 2014
DESIGNER WT
CHECKED WT DRAWN WT/GDG
SHEET 8 OF 26

DATE: Mar 12, 2014, 6:58PM USER ID: GDIXON
FILE: H:\PROJECTS\50784\05050 PRELIMINARY\CIVIL\05050784-00.DWG

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DRAINAGE CALCULATIONS

OAK CREEK
50784-00

	a	b	c
2	54.767	11.051	0.8116
10	70.82	10.396	0.7725
25	82.936	10.746	0.7634
100	118.3	13.185	0.7736

New values from DCM input on May 4 2007

Area	Acres	Tc	I2	I10	I25	I100	C2	C10	C25	C100	Q2	Q10	Q25	Q100	REMARKS
A1	1.33	12	4.29	6.41	7.64	9.75	0.52	0.59	0.64	0.72	3.0	5.0	6.5	9.3	
A2	0.24	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	0.7	1.2	1.6	2.2	
A3	13.57	9	4.81	7.17	8.51	10.76	0.52	0.59	0.64	0.72	33.9	57.4	73.9	105.1	
A4	1.46	12	4.29	6.41	7.64	9.75	0.52	0.59	0.64	0.72	3.3	5.5	7.1	10.2	
A5	2.18	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	6.5	11.0	14.1	19.7	
A6	0.78	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	2.3	3.9	5.0	7.0	
A7	0.64	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	2.5	4.2	5.4	7.6	
A8	0.23	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	0.6	1.1	1.4	1.9	
A9	1.04	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	3.1	5.3	6.7	9.4	
B1	2.36	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	6.4	10.9	13.9	19.7	
B2	0.38	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	1.0	1.7	2.2	3.2	
B3	1.94	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	5.8	9.8	12.6	17.5	
B4	2.29	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	6.9	11.6	14.8	20.7	
B5	0.92	9	4.81	7.17	8.51	10.76	0.52	0.59	0.64	0.72	2.3	3.9	5.0	7.1	
B6	0.90	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	2.4	4.1	5.3	7.5	
B7	0.58	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	1.7	2.9	3.8	5.2	
B8	1.38	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	4.1	7.0	8.9	12.5	
B9	0.14	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	0.4	0.6	0.8	1.2	
B10	0.99	9	4.81	7.17	8.51	10.76	0.52	0.59	0.64	0.72	2.5	4.2	5.4	7.7	
B11	1.33	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	3.8	6.1	7.9	11.1	
B12	0.42	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	1.1	1.9	2.5	3.5	
B13	0.09	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	0.3	0.5	0.6	0.8	
B14	1.57	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	5.0	8.4	10.8	15.1	
B15	1.04	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	3.1	5.3	6.7	9.4	
B16	0.20	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	0.6	1.0	1.3	1.8	
B17	0.59	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	1.8	3.0	3.8	5.3	
B18	1.19	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	3.2	5.5	7.0	9.9	
B19	1.62	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	4.9	8.2	10.5	14.6	
B20	1.20	5	5.76	8.57	10.11	12.54	0.52	0.59	0.64	0.72	3.6	6.1	7.8	10.8	
B21	1.56	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	4.2	7.2	9.2	13.0	
B22	0.71	7	5.23	7.8	9.23	11.57	0.52	0.59	0.64	0.72	1.9	3.3	4.2	5.9	
C1	2.23	12	4.29	6.41	7.64	9.75	0.29	0.35	0.39	0.46	2.8	5.0	6.6	10.0	
C2	0.54	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.9	1.6	2.1	3.1	
C3	1.08	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	1.6	2.9	3.9	5.7	
C4	1.14	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	1.7	3.1	4.1	6.1	
C5	0.68	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.1	2.0	2.7	3.9	
C6	0.96	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.6	2.9	3.8	5.5	
C7	1.03	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	1.6	2.8	3.7	5.5	
C8	0.21	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.4	0.6	0.8	1.2	
C9	1.27	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	1.9	3.5	4.6	6.8	
C10	0.68	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.1	2.0	2.7	3.9	
C11	0.08	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.1	0.2	0.3	0.5	
C12	0.83	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.4	2.5	3.3	4.8	
C13	0.92	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.5	2.8	3.6	5.3	
C14	0.85	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.4	2.5	3.4	4.9	
C15	0.86	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.4	2.6	3.4	5.0	
C16	0.96	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.6	2.9	3.8	5.5	
C17	0.50	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.8	1.5	2.0	2.9	
C18	0.33	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.6	1.0	1.3	1.9	
C19	2.65	12	4.29	6.41	7.64	9.75	0.29	0.35	0.39	0.46	3.3	5.9	7.9	11.9	
C20	0.16	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	0.2	0.4	0.6	0.9	
C21	1.86	9	4.81	7.17	8.51	10.76	0.29	0.35	0.39	0.46	2.6	4.7	6.2	9.2	
C22	0.73	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.2	2.2	2.9	4.2	
C23	0.47	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.8	1.4	1.9	2.7	
C24	0.64	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.1	1.9	2.5	3.7	
C25	0.78	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.3	2.3	3.1	4.5	
C26	0.48	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.8	1.4	1.9	2.8	
D1	0.15	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.3	0.4	0.6	0.9	

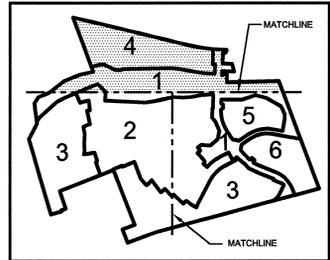
DRAINAGE CALCULATIONS

OAK CREEK
50784-00

	a	b	c
2	54.767	11.051	0.8116
10	70.82	10.396	0.7725
25	82.936	10.746	0.7634
100	118.3	13.185	0.7736

New values from DCM input on May 4 2007

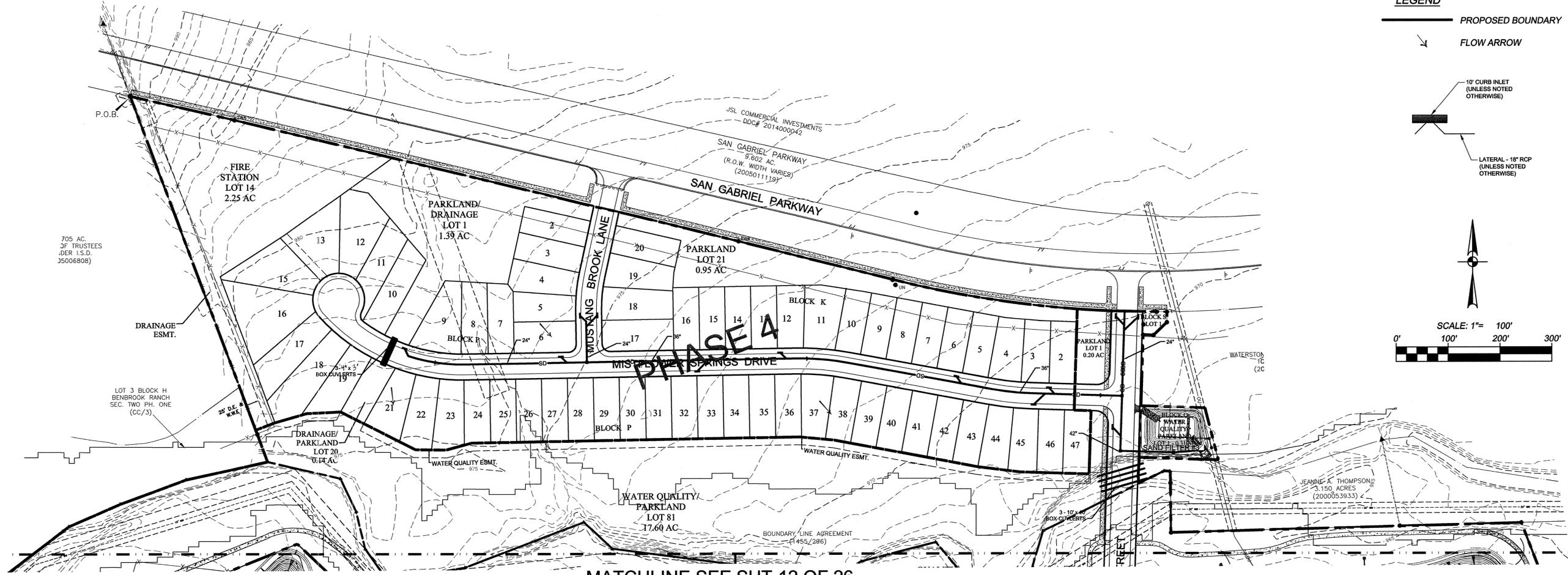
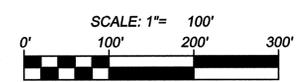
Area	Acres	Tc	I2	I10	I25	I100	C2	C10	C25	C100	Q2	Q10	Q25	Q100	REMARKS
D1	0.15	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.3	0.4	0.6	0.9	
D2	1.32	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	2.0	3.6	4.8	7.0	
D3	0.45	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.8	1.3	1.8	2.6	
D4	1.22	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	1.9	3.3	4.4	6.5	
D5	0.95	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.6	2.8	3.7	5.5	
D6	0.63	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.1	1.9	2.5	3.6	
D7	0.30	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.5	0.9	1.2	1.7	
D8	0.68	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.1	2.0	2.7	3.9	
D9	0.23	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.4	0.7	0.9	1.3	
D10	0.71	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.2	2.1	2.8	4.1	
D11	1.68	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	2.5	4.6	6.0	8.9	
D12	0.96	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.6	2.9	3.8	5.5	
D13	0.73	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.2	2.2	2.9	4.2	
D14	0.75	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.3	2.2	3.0	4.3	
D15	0.95	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.6	2.8	3.7	5.5	
D16	0.40	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.7	1.2	1.6	2.3	
D17	0.19	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.3	0.6	0.7	1.1	
D18	0.78	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.3	2.3	3.1	4.5	
D19	0.60	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.0	1.8	2.4	3.5	
D20	0.59	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.0	1.8	2.3	3.4	
D21	0.80	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	1.3	2.4	3.2	4.6	
D22	0.99	7	5.23	7.8	9.23	11.57	0.29	0.35	0.39	0.46	1.5	2.7	3.6	5.3	
D23	0.21	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.46	0.4	0.6	0.8	1.2	
D24	0.29	5	5.76	8.57	10.11	12.54	0.29	0.35	0.39	0.4					



PRELIMINARY PHASING PLAN

LEGEND

- PROPOSED BOUNDARY
- ↘ FLOW ARROW
- 10' CURB INLET (UNLESS NOTED OTHERWISE)
- LATERAL - 18" RCP (UNLESS NOTED OTHERWISE)



MATCHLINE SEE SHT 12 OF 26

REVISIONS:



PAPE-DAWSON ENGINEERS

7000 BURNING CREEK BLVD | SUITE 200 WEST | AUSTIN, TEXAS 78757 | PHONE: 512.452.8771 | FAX: 512.452.8887 | TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

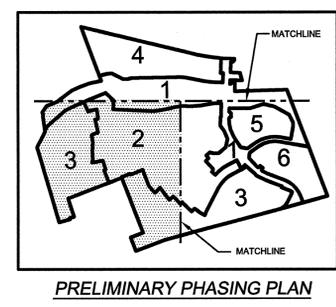
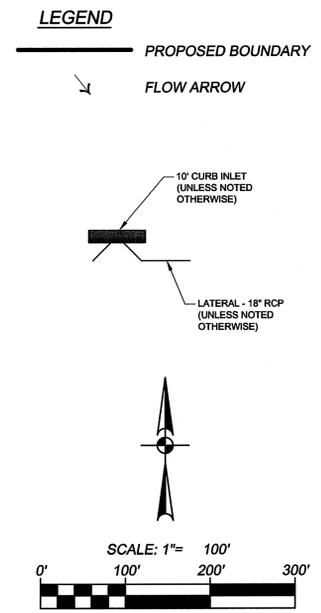
OAK CREEK
PRELIMINARY PLAT
STORM DRAIN SYSTEM (SHT 1 OF 3)

JOB NO.	50784-00
DATE	MARCH 2014
DESIGNER	WT
CHECKED	WT
DRAWN	WT/GD
SHEET	11 OF 26

DATE: Mar 12, 2014, 6:58PM USER ID: GDWON
FILE: R:\PROJECTS\50784\50784-00\PRELIM\DWG\11\50784-00.DWG

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MATCHLINE SEE SHT 11 OF 26



MATCHLINE SEE SHT 13 OF 26

REVISIONS:

03/14/14



PAPE-DAWSON ENGINEERS

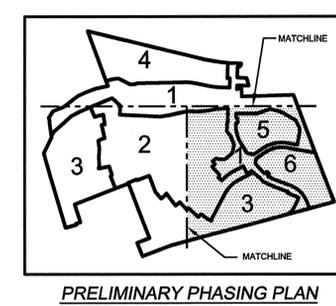
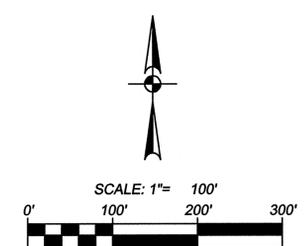
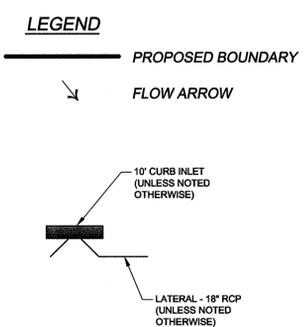
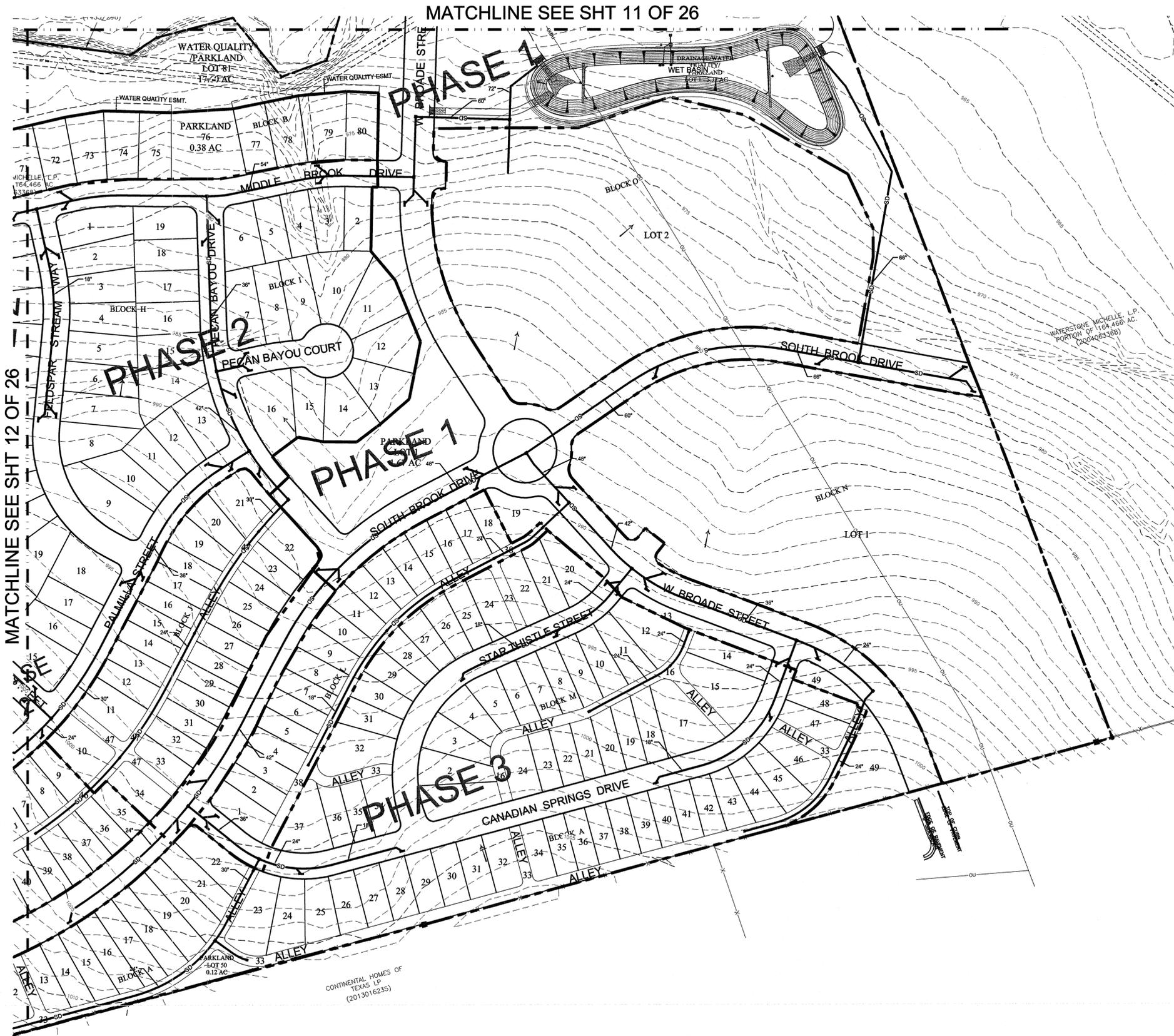
7800 BURNING CREEK BLVD. SUITE 200 WEST AUSTIN TEXAS 78757
 PHONE: 512.468.8771 FAX: 512.468.8887
 TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM REGISTRATION # 470

OAK CREEK PRELIMINARY PLAT
STORM DRAIN SYSTEM (SHT 2 OF 3)

JOB NO. 50784-00
 DATE MARCH 2014
 DESIGNER WT
 CHECKED SB DRAWN WT/GD
 SHEET 12 OF 26

DATE: Mar 12, 2014 6:58PM USER ID: GDXION
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REVISIONS:

PAPE-DAWSON ENGINEERS
 7800 SHOAL CREEK BLVD | SUITE 220 WEST | AUSTIN, TEXAS 78757
 PHONE: 512.454.8711 | FAX: 512.454.8867
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK PRELIMINARY PLAT
STORM DRAIN SYSTEM (SHT 3 OF 3)

JOB NO. 50784-00
 DATE MARCH 2014
 DESIGNER WT
 CHECKED *JB* DRAWN WT/GD
 SHEET 13 OF 26

DATE: Mar 12, 2014, 6:58PM USER: ID: GDXXON
 FILE: H:\PROJECTS\50784\030310 PRELIMINARY\DWG\LS020784-00.DWG

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**Texas Commission on Environmental Quality
Contributing Zone Plan
General Construction Notes**

1. WRITTEN CONSTRUCTION NOTIFICATION SHOULD BE PROVIDED TO THE APPROPRIATE TCEQ REGIONAL OFFICE NO LATER THAN 48 HOURS PRIOR TO COMMENCEMENT OF THE REGULATED ACTIVITY. INFORMATION SHOULD INCLUDE THE DATE ON WHICH THE REGULATED ACTIVITY WILL COMMENCE, THE NAME OF THE APPROVED PLAN FOR THE REGULATED ACTIVITY, AND THE NAME OF THE PRIME CONTRACTOR WITH THE NAME AND TELEPHONE NUMBER OF THE CONTACT PERSON.
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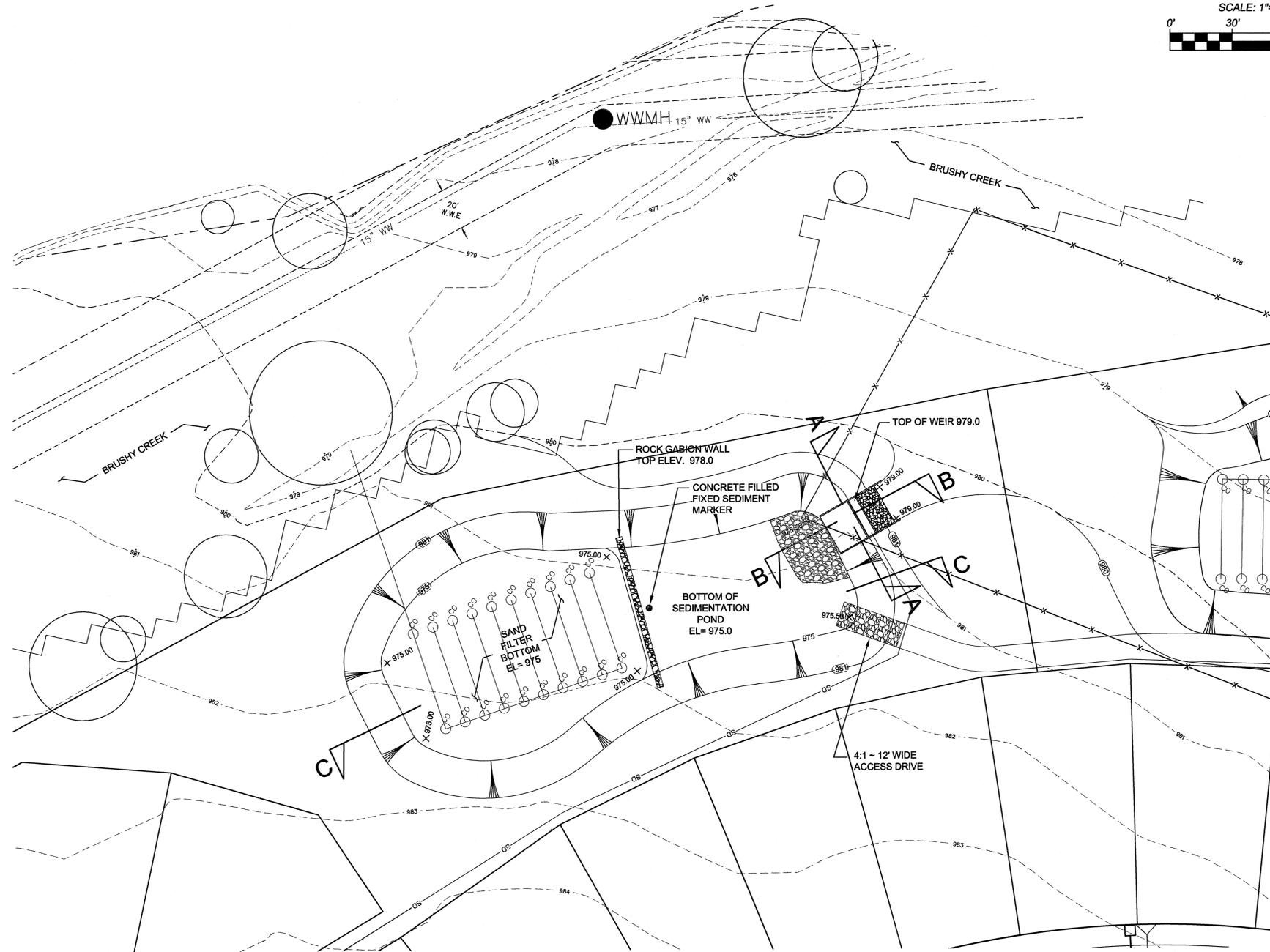
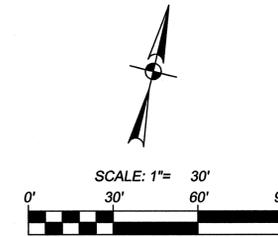
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LEGEND

TW	TOP OF WALL
TB	TOP OF BERM
TS	TOE OF SLOPE
EOC	EDGE OF CONCRETE



SEE SHEET 15 FOR CROSS SECTION "A-A", "B-B" & "C-C"

REVISIONS:



PAPE-DAWSON ENGINEERS

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AUSTIN TEXAS 78757

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SUITE 220 WEST

TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

OAK CREEK
PRELIMINARY PLAT
SAND FILTER 1

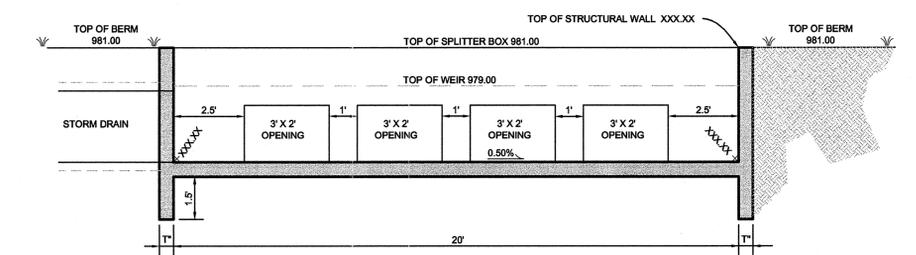
JOB NO.	50784-00
DATE	FEBRUARY 2014
DESIGNER	WT
CHECKED	WT/GD
SHEET	14 OF 26

DATE: Feb 14, 2014, 1:53PM USER ID: GDIXON
FILE: H:\PROJECTS\50784\00500 PRELIMINARY\CIVIL\50784-00.DWG

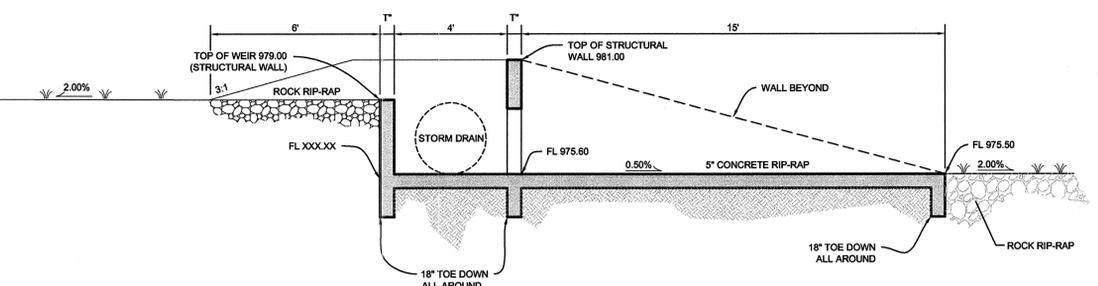
WATER QUALITY SAND FILTER - TCEQ SIZING AND TSS REMOVAL CALCULATIONS

Texas Commission on Environmental Quality		Project Name: Michelle Tract	
TSS Removal Calculations 04-20-2009		Date Prepared: 9/24/2013	
Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell. Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348. Characters shown in red are data entry fields. Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.			
1. The Required Load Reduction for the total project:		Calculations from RG-348	Pages 3-27 to 3-30
Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$			
where:	L_M TOTAL PROJECT =	Required TSS removal resulting from the proposed development = 80% of increased load	
	A_N =	Net increase in impervious area for the project	
	P =	Average annual precipitation, inches	
Site Data: Determine Required Load Removal Based on the Entire Project			
County = Williamson			
Total project area included in plan * =		0.00	acres
Predevelopment impervious area within the limits of the plan * =		0.00	acres
Total post-development impervious area within the limits of the plan * =		#DIV/0!	
Total post-development impervious cover fraction * =		32	inches
L_M TOTAL PROJECT =		0	lbs.
* The values entered in these fields should be for the total project area.			
Number of drainage basins / outfalls areas leaving the plan area =		4	
2. Drainage Basin Parameters (This information should be provided for each basin):			
Drainage Basin/Outfall Area No. =		A	
Total drainage basin/outfall area =		32.86	acres
Predevelopment impervious area within drainage basin/outfall area =		0.00	acres
Post-development impervious area within drainage basin/outfall area =		16.94	acres
Post-development impervious fraction within drainage basin/outfall area =		0.52	
L_M THIS BASIN =		14745	lbs.
3. Indicate the proposed BMP Code for this basin.			
Proposed BMP = Sand Filter			
Removal efficiency =		89	percent
		Aqualogic Cartridge Filter Bioretention Contech StormFilter Constructed Wetland Extended Detention Grassy Swale Retention / Irrigation Sand Filter Stormceptor Vegetated Filter Strips Vortechs Wet Basin Wet Vault	
4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.			
RG-348 Page 3-33 Equation 3.7: $L_R = (BMP \text{ efficiency}) \times P \times (A_I \times 34.6 + A_P \times 0.54)$			
where:	A_C =	Total On-Site drainage area in the BMP catchment area	
	A_I =	Impervious area proposed in the BMP catchment area	
	A_P =	Penous area remaining in the BMP catchment area	
	L_R =	TSS Load removed from this catchment area by the proposed BMP	
	A_C =	32.86	acres
	A_I =	16.94	acres
	A_P =	15.92	acres
	L_R =	16938	lbs
5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area			
Desired L_M THIS BASIN =		14745	lbs.
F =		0.87	
6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.			
Calculations from RG-348		Pages 3-34 to 3-36	
Rainfall Depth =		1.44	inches
Post Development Runoff Coefficient =		0.37	
On-site Water Quality Volume =		62899	cubic feet
Calculations from RG-348		Pages 3-36 to 3-37	
Off-site area draining to BMP =		0.00	acres
Off-site impervious cover draining to BMP =		0.00	acres
Impervious fraction of off-site area =		0	
Off-site Runoff Coefficient =		0.00	
Off-site Water Quality Volume =		0	cubic feet
Storage for Sediment =		12580	
Total Capture Volume (required water quality volume(s) x 1.20) =		75479	cubic feet
The following sections are used to calculate the required water quality volume(s) for the selected BMP. The values for BMP Types not selected in cell C45 will show NA.			
11. Wet Basins		Designed as Required in RG-348	
Required capacity of Permanent Pool =		NA	cubic feet
Required capacity at WQV Elevation =		NA	cubic feet
Permanent Pool Capacity is 1.20 times the WQV Total Capacity should be the Permanent Pool Capacity plus a second WQV.			

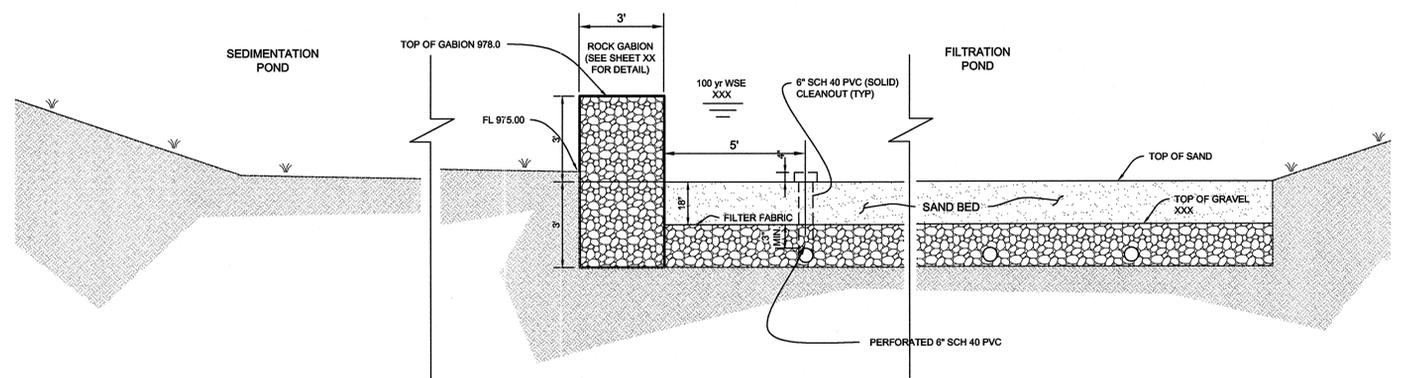
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CROSS SECTION "A-A"
SCALE: 1" =



CROSS SECTION "B-B"
SCALE: 1" =



CROSS SECTION "C-C"
SCALE: 1" =

SAND FILTER 1

Texas Commission on Environmental Quality
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WATER QUALITY STORAGE BASIN VOLUME

Stage (ft. ms)	Area (sf)	Height (ft)	Avg. End Area	Cumul. Vol. (cf)	Cumul. Vol. (ac-ft)
PARTIAL Sedimentation Basin Volume					

SAND FILTRATION AREA = xxxx s.f.
SEDIMENTATION BASIN AREA = xxxx s.f.

DATE: Feb. 14, 2014, 1:53PM USER ID: GDIXON
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REVISIONS:



PAPE-DAWSON ENGINEERS

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AUSTIN TEXAS 78757
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TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
PRELIMINARY PLAT
SAND FILTER 1 CROSS SECTIONS

JOB NO. 50784-00
DATE FEBRUARY 2014
DESIGNER JB
CHECKED *[Signature]* DRAWN WJGD
SHEET 15 OF 26

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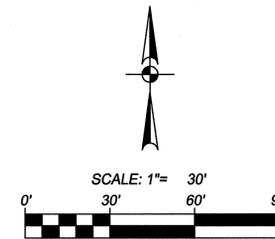
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LEGEND

TW	TOP OF WALL
TB	TOP OF BERM
TS	TOE OF SLOPE
EOC	EDGE OF CONCRETE



SAND FILTER 2

SEE SHEET 17 FOR CROSS SECTION "D - D", "E-E" & "F-F"

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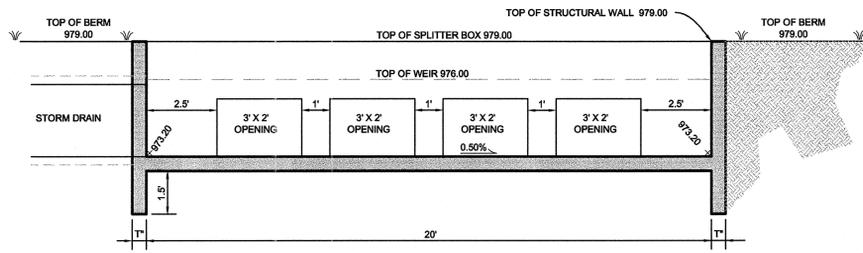
PAPE-DAWSON ENGINEERS

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 PHONE: (512) 454-6711
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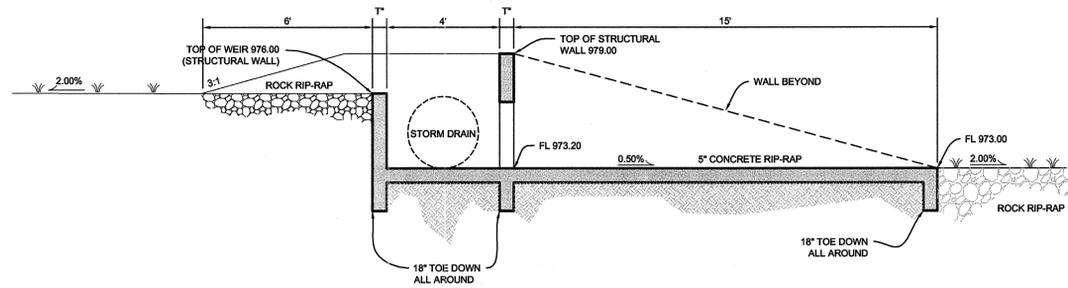
OAK CREEK
 PRELIMINARY PLAT
 SAND FILTER 2

JOB NO.	50784-00
DATE	FEBRUARY 2014
DESIGNER	WT
CHECKED	WT
DRAWN	WT/GD
SHEET	16 OF 26

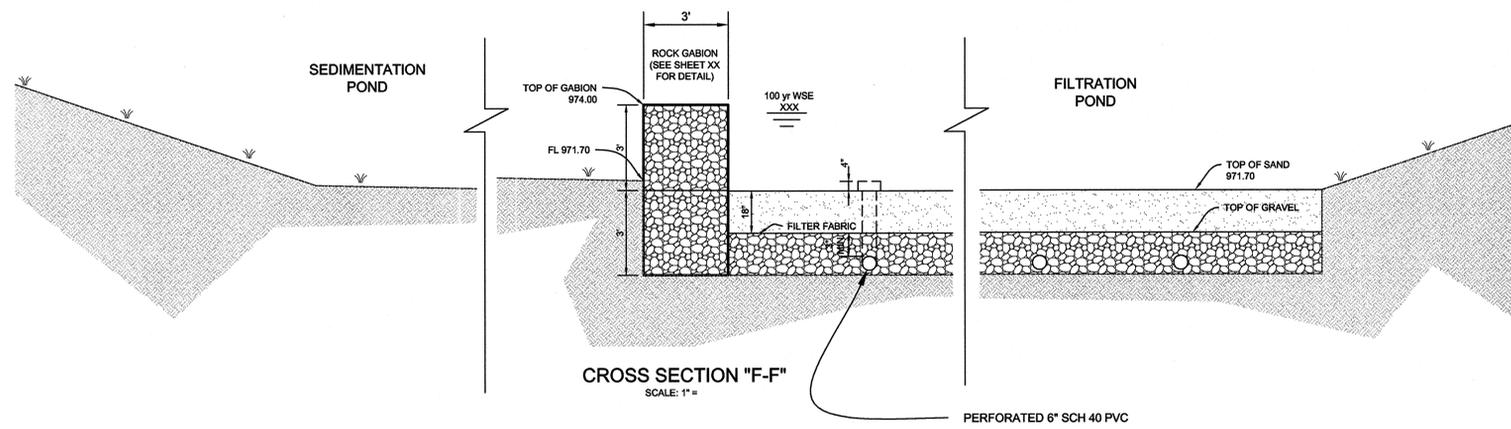
- NOTES:**
- THIS PROJECT IS WITHIN EDWARDS AQUIFER CONTRIBUTING ZONE AS PER THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
 - EXISTING CONTOUR INFORMATION SHOWN HERE ON THIS PLAN SHEET ARE SHOWN AT (1) ONE FOOT INTERVALS. THEY ARE COMPUTER GENERATED USING FIELD DATA.
 - REFER TO LANDSCAPE ARCHITECT SPECIFICATIONS FOR SOIL PREPARATION, GENERAL VEGETATION, SIDE SLOPE VEGETATION EROSION CONTROL AND TEMPORARY IRRIGATION GUIDELINES.



CROSS SECTION "D-D"
SCALE: 1" = 20'



CROSS SECTION "E-E"
SCALE: 1" = 15'



CROSS SECTION "F-F"
SCALE: 1" = 3'

SAND FILTER 2

**Texas Commission on Environmental Quality
Contributing Zone Plan
General Construction Notes**

- WRITTEN CONSTRUCTION NOTIFICATION SHOULD BE PROVIDED TO THE APPROPRIATE TCEQ REGIONAL OFFICE NO LATER THAN 48 HOURS PRIOR TO COMMENCEMENT OF THE REGULATED ACTIVITY. INFORMATION SHOULD INCLUDE THE DATE ON WHICH THE REGULATED ACTIVITY WILL COMMENCE, THE NAME OF THE APPROVED PLAN FOR THE REGULATED ACTIVITY, AND THE NAME OF THE PRIME CONTRACTOR WITH THE NAME AND TELEPHONE NUMBER OF THE CONTACT PERSON.
- ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT SHOULD BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED CONTRIBUTING ZONE PLAN AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTOR(S) SHOULD KEEP COPIES OF THE APPROVED PLAN AND APPROVAL LETTER ON-SITE.
- NO TEMPORARY ABOVEGROUND HYDROCARBON AND HAZARDOUS SUBSTANCE STORAGE TANK SYSTEM MAY BE INSTALLED WITHIN 150 FEET OF A DOMESTIC, INDUSTRIAL, IRRIGATION, OR PUBLIC WATER SUPPLY WELL.
- PRIOR TO COMMENCING CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES. CONTROLS SPECIFIED IN THE SWPPP SECTION OF THE APPROVED EDWARDS AQUIFER CONTRIBUTING ZONE PLAN ARE REQUIRED.
- DURING CONSTRUCTION, IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THE CONTROLS MUST REMAIN IN PLACE UNTIL DISTURBED AREAS ARE REVEGETATED AND THE AREAS HAVE BECOME PERMANENTLY STABILIZED.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS TO WATER QUALITY (E.G., FUGITIVE SEDIMENT IN STREET BEING WASHED INTO SURFACE STREAMS OR SENSITIVE FEATURES BY THE NEXT RAIN).
- SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS NOT LATER THAN WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%. A PERMANENT STAKE MUST BE PROVIDED THAT CAN INDICATE WHEN THE SEDIMENT OCCUPIES 50% OF THE BASIN VOLUME.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORMWATER DISCHARGES (E.G., SCREENING OUTFALLS, PICKED UP DAILY).
- ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE AND STORED ON-SITE MUST HAVE PROPER E&S CONTROLS INSTALLED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND CONSTRUCTION ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY IS PRECLUDED BY WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- THE FOLLOWING RECORDS SHOULD BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- THE HOLDER OF ANY APPROVED CONTRIBUTING ZONE PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
 - ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY BEST MANAGEMENT PRACTICES OR STRUCTURES, INCLUDING BUT NOT LIMITED TO TEMPORARY OR PERMANENT PONDS, DAMS, BERMS, SILT FENCES, AND DIVERSIONARY STRUCTURES;
 - ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED.
- ANY CHANGE THAT WOULD SIGNIFICANTLY IMPACT THE ABILITY TO PREVENT POLLUTION OF THE EDWARDS AQUIFER AND HYDROLOGICALLY CONNECTED SURFACE WATER, OR
- ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED IN A CONTRIBUTING ZONE PLAN AS UNDEVELOPED.

AUSTIN REGIONAL OFFICE
2800 S. IH 35, SUITE 100
AUSTIN, TEXAS 78704-5712
PHONE (512) 339-2929
FAX (512) 339-3795

WATER QUALITY SAND FILTER - TCEQ SIZING AND TSS REMOVAL CALCULATIONS

Texas Commission on Environmental Quality		Project Name: Michelle Tract														
TSS Removal Calculations 04-20-2009		Date Prepared: 9/24/2013														
Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell. Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348. Characters shown in red are data entry fields. Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.																
1. The Required Load Reduction for the total project:		Calculations from RG-348	Pages 3-27 to 3-30													
Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$																
where:	L_M TOTAL PROJECT =	Required TSS removal resulting from the proposed development = 80% of increased load														
	A_N =	Net increase in impervious area for the project														
	P =	Average annual precipitation, inches														
Site Data: Determine Required Load Removal Based on the Entire Project																
County = Williamson																
Total project area included in plan *		0.00	acres													
Predevelopment impervious area within the limits of the plan *		0.00	acres													
Total post-development impervious area within the limits of the plan *		0.00	acres													
Total post-development impervious cover fraction *		#DIV/0!														
P		32	inches													
L_M TOTAL PROJECT =		0	lbs.													
* The values entered in these fields should be for the total project area.																
Number of drainage basins / outfalls areas leaving the plan area =		4														
2. Drainage Basin Parameters (This information should be provided for each basin):																
Drainage Basin/Outfall Area No. =		B														
Total drainage basin/outfall area =		30.03	acres													
Predevelopment impervious area within drainage basin/outfall area =		0.00	acres													
Post-development impervious area within drainage basin/outfall area =		16.80	acres													
Post-development impervious fraction within drainage basin/outfall area =		0.56														
L_M THIS BASIN =		14623	lbs.													
3. Indicate the proposed BMP Code for this basin.																
Proposed BMP =		Sand Filter														
Removal efficiency =		89	percent													
<table border="0"> <tr><td>Aqualogic Cartridge Filter</td></tr> <tr><td>Bioretention</td></tr> <tr><td>Contech StormFilter</td></tr> <tr><td>Constructed Wetland</td></tr> <tr><td>Extended Detention</td></tr> <tr><td>Grassy Swale</td></tr> <tr><td>Retention / Irrigation</td></tr> <tr><td>Sand Filter</td></tr> <tr><td>Stormceptor</td></tr> <tr><td>Vegetated Filter Strips</td></tr> <tr><td>Vortechs</td></tr> <tr><td>Wet Basin</td></tr> <tr><td>Wet Vault</td></tr> </table>				Aqualogic Cartridge Filter	Bioretention	Contech StormFilter	Constructed Wetland	Extended Detention	Grassy Swale	Retention / Irrigation	Sand Filter	Stormceptor	Vegetated Filter Strips	Vortechs	Wet Basin	Wet Vault
Aqualogic Cartridge Filter																
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Vortechs																
Wet Basin																
Wet Vault																
4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.																
RG-348 Page 3-33 Equation 3.7: $L_R = (BMP \text{ efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$																
where:	A_C =	Total On-Site drainage area in the BMP catchment area														
	A_i =	Impervious area proposed in the BMP catchment area														
	A_p =	Pervious area remaining in the BMP catchment area														
	L_R =	TSS Load removed from this catchment area by the proposed BMP														
	A_C =	30.03	acres													
	A_i =	16.80	acres													
	A_p =	13.23	acres													
	L_R =	16758	lbs.													
5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area																
Desired L_M THIS BASIN =		14623	lbs.													
F =		0.87														
6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Calculations from RG-348 Pages 3-34 to 3-36																
Rainfall Depth =		1.44	inches													
Post Development Runoff Coefficient =		0.39														
On-site Water Quality Volume =		81645	cubic feet													
Calculations from RG-348 Pages 3-36 to 3-37																
Off-site area draining to BMP =		0.00	acres													
Off-site Impervious cover draining to BMP =		0.00	acres													
Impervious fraction of off-site area =		0														
Off-site Runoff Coefficient =		0.00														
Off-site Water Quality Volume =		0	cubic feet													
Storage for Sediment =		12329	cubic feet													
Total Capture Volume (required water quality volume(s) x 1.20) =		73974	cubic feet													
The following sections are used to calculate the required water quality volume(s) for the selected BMP. The values for BMP Types not selected in cell C45 will show NA.																
11. Wet Basins																
Required capacity of Permanent Pool =		NA	cubic feet													
Required capacity at WQV Elevation =		NA	cubic feet													
Permanent Pool Capacity is 1.20 times the QV		Total Capacity should be the Permanent Pool Capacity plus a second WQV.														

REVISIONS:



PAPE-DAWSON ENGINEERS

7800 SHOAL CREEK BLVD
SUITE 220 WEST
AUSTIN TEXAS 78757
PHONE: 512.454.6711
FAX: 512.456.6867
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
PRELIMINARY PLAT
SAND FILTER 2 CROSS SECTIONS

JOB NO. 50784-00
DATE FEBRUARY 2014
DESIGNER JB
CHECKED DRAWN WJ/GD
SHEET 17 OF 26

Texas Commission on Environmental Quality
Contributing Zone Plan
General Construction Notes

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- ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT SHOULD BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED CONTRIBUTING ZONE PLAN AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTOR(S) SHOULD KEEP COPIES OF THE APPROVED PLAN AND APPROVAL LETTER ON-SITE.
- NO TEMPORARY ABOVEGROUND HYDROCARBON AND HAZARDOUS SUBSTANCE STORAGE TANK SYSTEM MAY BE INSTALLED WITHIN 150 FEET IF A DOMESTIC, INDUSTRIAL, IRRIGATION, OR PUBLIC WATER SUPPLY WELL.
- PRIOR TO COMMENCING CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES. CONTROLS SPECIFIED IN THE SHEET SECTION OF THE APPROVED EDWARDS AQUIFER CONTRIBUTING ZONE PLAN ARE REQUIRED.
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- SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS NOT LATER THAN WHEN CAPACITY HAS BEEN REDUCED BY 50%. A PERMANENT STAKE MUST BE PROVIDED THAT CAN INDICATE WHEN THE SEDIMENT OCCUPIES 50% OF THE BASIN VOLUME.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORMWATER DISCHARGES (E.G., SCREENING OUTFALLS, PICKED UP DAILY).
- ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE AND STORED ON-SITE MUST HAVE PROPER E&S CONTROLS INSTALLED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND CONSTRUCTION ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY IS PRECLUDED BY WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
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 - ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED;
 - ANY CHANGE THAT WOULD SIGNIFICANTLY IMPACT THE ABILITY TO PREVENT POLLUTION OF THE EDWARDS AQUIFER AND HYDROLOGICALLY CONNECTED SURFACE WATER; OR
 - ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED IN A CONTRIBUTING ZONE PLAN AS UNDEVELOPED.

NOTES:

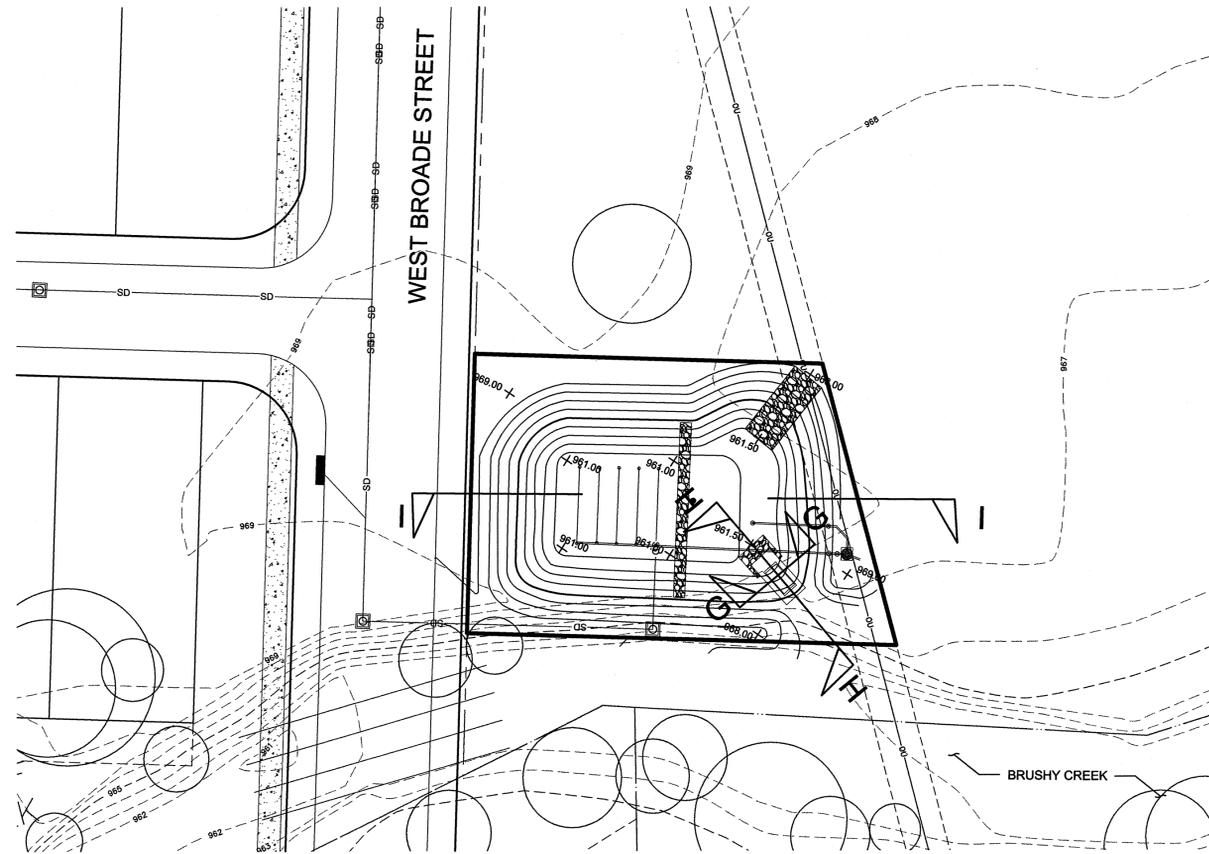
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THIS PROJECT IS WITHIN EDWARDS AQUIFER CONTRIBUTING ZONE AS PER THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
- EXISTING CONTOUR INFORMATION SHOWN HERE ON THIS PLAN SHEET ARE SHOWN AT (1) ONE FOOT INTERVALS. THEY ARE COMPUTER GENERATED USING FIELD DATA.
- ALL TREES MUST MAINTAIN A VERTICAL CLEARANCE OF AT LEAST 14 FEET ABOVE THE MAINTENANCE ACCESS STRIP.

FILL SPECIFICATIONS:

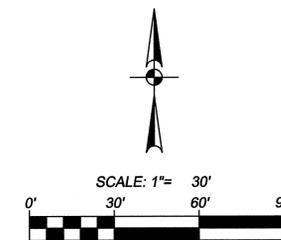
- MATERIAL SHALL NOT CONTAIN ANY ROCKS WITH ANY DIMENSIONS GREATER THAN 6".
- MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, TRASH, CONCRETE RUBBLE AND OTHER ORGANIC MATERIAL.
- ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS. PLACEMENT SHALL BE IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTION. EACH LIFT SHALL BE INSPECTED AND TESTED PRIOR TO PLACEMENT OF THE NEXT LIFT. TESTING SHALL BE DONE ON AN AVERAGE OF ONE DENSITY PER 500 SQUARE FEET PER LIFT AREA.

LEGEND

TW	TOP OF WALL
TB	TOP OF BERM
TS	TOE OF SLOPE
EOC	EDGE OF CONCRETE



SAND FILTER 3



SEE SHEET 20 FOR CROSS SECTION "G-G", "H-H" & "I-I"

REVISIONS:



PAPE-DAWSON ENGINEERS

7800 SHOAL CREEK BLVD | SUITE 220 WEST | AUSTIN TEXAS 78757 | PHONE: 512.454.8711 | FAX: 512.458.8807
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
 PRELIMINARY PLAT
 SAND FILTER 3

JOB NO. 50784-00

DATE FEBRUARY 2014

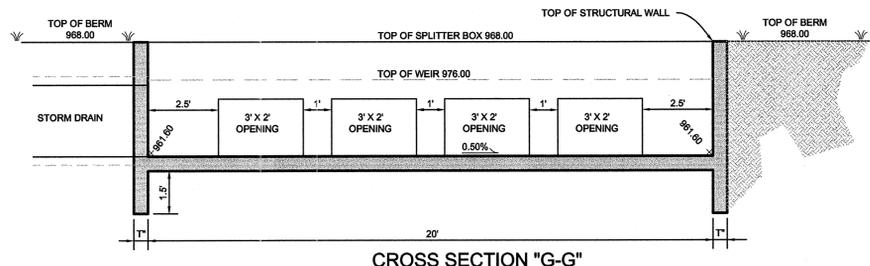
DESIGNER WT

CHECKED DRAWN WT/GD

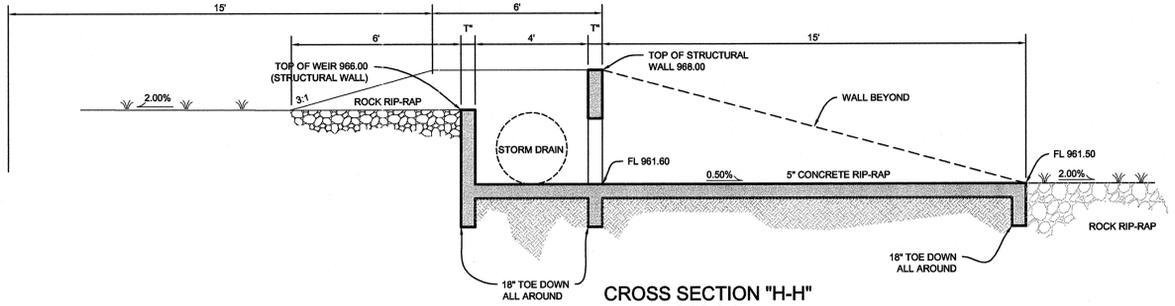
SHEET 18 OF 26

WATER QUALITY SAND FILTER - TCEQ SIZING AND TSS REMOVAL CALCULATIONS

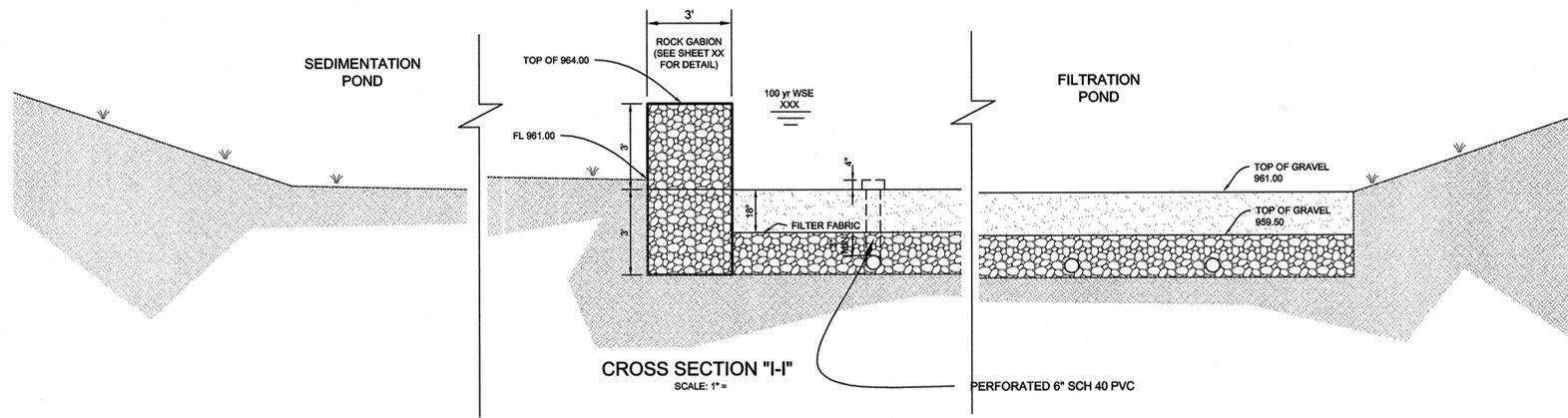
Texas Commission on Environmental Quality		Project Name: Oak Creek
TSS Removal Calculations 04-20-2009		Date Prepared: 12/19/2013
Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell. Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348. Characters shown in red are data entry fields. Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.		
1. The Required Load Reduction for the total project:	Calculations from RG-348	Pages 3-27 to 3-30
Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$		
where:	L_M TOTAL PROJECT = Required TSS removal resulting from the proposed development = 80% of increased load	
	A_N = Net increase in impervious area for the project	
	P = Average annual precipitation, inches	
Site Data: Determine Required Load Removal Based on the Entire Project		
	County = Williamson	
	Total project area included in plan * = 0.00 acres	
	Predevelopment impervious area within the limits of the plan * = 0.00 acres	
	Total post-development impervious area within the limits of the plan * = 0.00 acres	
	Total post-development impervious cover fraction * = #DIV/0!	
	P = 32 inches	
	L_M TOTAL PROJECT = 0 lbs.	
* The values entered in these fields should be for the total project area.		
	Number of drainage basins / outfalls areas leaving the plan area = 4	
2. Drainage Basin Parameters (This information should be provided for each basin):		
	Drainage Basin/Outfall Area No. = E	
	Total drainage basin/outfall area = 13.00 acres	
	Predevelopment impervious area within drainage basin/outfall area = 0.00 acres	
	Post-development impervious area within drainage basin/outfall area = 6.91 acres	
	Post-development impervious fraction within drainage basin/outfall area = 0.53	
	L_M THIS BASIN = 6014 lbs.	
3. Indicate the proposed BMP Code for this basin.		
	Proposed BMP = Sand Filter	
	Removal efficiency = 89 percent	
	Aquaglogic Cartridge Filter	
	Bioretention	
	Context StormFilter	
	Constructed Wetland	
	Extended Detention	
	Grassy Swale	
	Retention / Irrigation	
	Sand Filter	
	Stormceptor	
	Vegetated Filter Strips	
	Vortechs	
	Wet Basin	
	Wet Vault	
4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.		
	RG-348 Page 3-33 Equation 3.7: $L_R = (BMP \text{ efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$	
where:	A_C = Total On-Site drainage area in the BMP catchment area	
	A_i = Impervious area proposed in the BMP catchment area	
	A_p = Pervious area remaining in the BMP catchment area	
	L_R = TSS Load removed from this catchment area by the proposed BMP	
	A_C = 13.00 acres	
	A_i = 6.91 acres	
	A_p = 6.09 acres	
	L_R = 6903 lbs	
5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area		
	Desired L_M THIS BASIN = 6014 lbs.	
	F = 0.87	
6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Calculations from RG-348 Pages 3-34 to 3-36		
	Rainfall Depth = 1.44 inches	
	Post Development Runoff Coefficient = 0.38	
	On-site Water Quality Volume = 25517 cubic feet	
	Calculations from RG-348 Pages 3-36 to 3-37	
	Off-site area draining to BMP = 0.00 acres	
	Off-site impervious cover draining to BMP = 0.00 acres	
	Impervious fraction of off-site area = 0	
	Off-site Runoff Coefficient = 0.00	
	Off-site Water Quality Volume = 0 cubic feet	
	Storage for Sediment = 5103	
	Total Capture Volume (required water quality volume(s) x 1.20) = 30620 cubic feet	
The following sections are used to calculate the required water quality volume(s) for the selected BMP. The values for BMP Types not selected in cell C45 will show NA.		
11. Wet Basins	Designed as Required in RG-348	Pages 3-66 to 3-71
	Required capacity of Permanent Pool = NA cubic feet	Permanent Pool Capacity is 1.20 times the WQV
	Required capacity at WQV Elevation = NA cubic feet	Total Capacity should be the Permanent Pool Capacity plus a second WQV.



CROSS SECTION "G-G"
SCALE: 1" = 1'



CROSS SECTION "H-H"
SCALE: 1" = 1'



CROSS SECTION "I-I"
SCALE: 1" = 1'

SAND FILTER 3

Texas Commission on Environmental Quality
Contributing Zone Plan
General Construction Notes

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- NO TEMPORARY ABOVEGROUND HYDROCARBON AND HAZARDOUS SUBSTANCE STORAGE TANK SYSTEM MAY BE INSTALLED WITHIN 150 FEET OF A DOMESTIC, INDUSTRIAL, IRRIGATION, OR PUBLIC WATER SUPPLY WELL.
- PRIOR TO COMMENCING CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENTATION (EAS) CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES. CONTROLS SPECIFIED IN THE SWPPP SECTION OF THE APPROVED EDWARDS AQUIFER CONTRIBUTING ZONE PLAN ARE REQUIRED.
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- ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED IN A CONTRIBUTING ZONE PLAN AS UNDEVELOPED.

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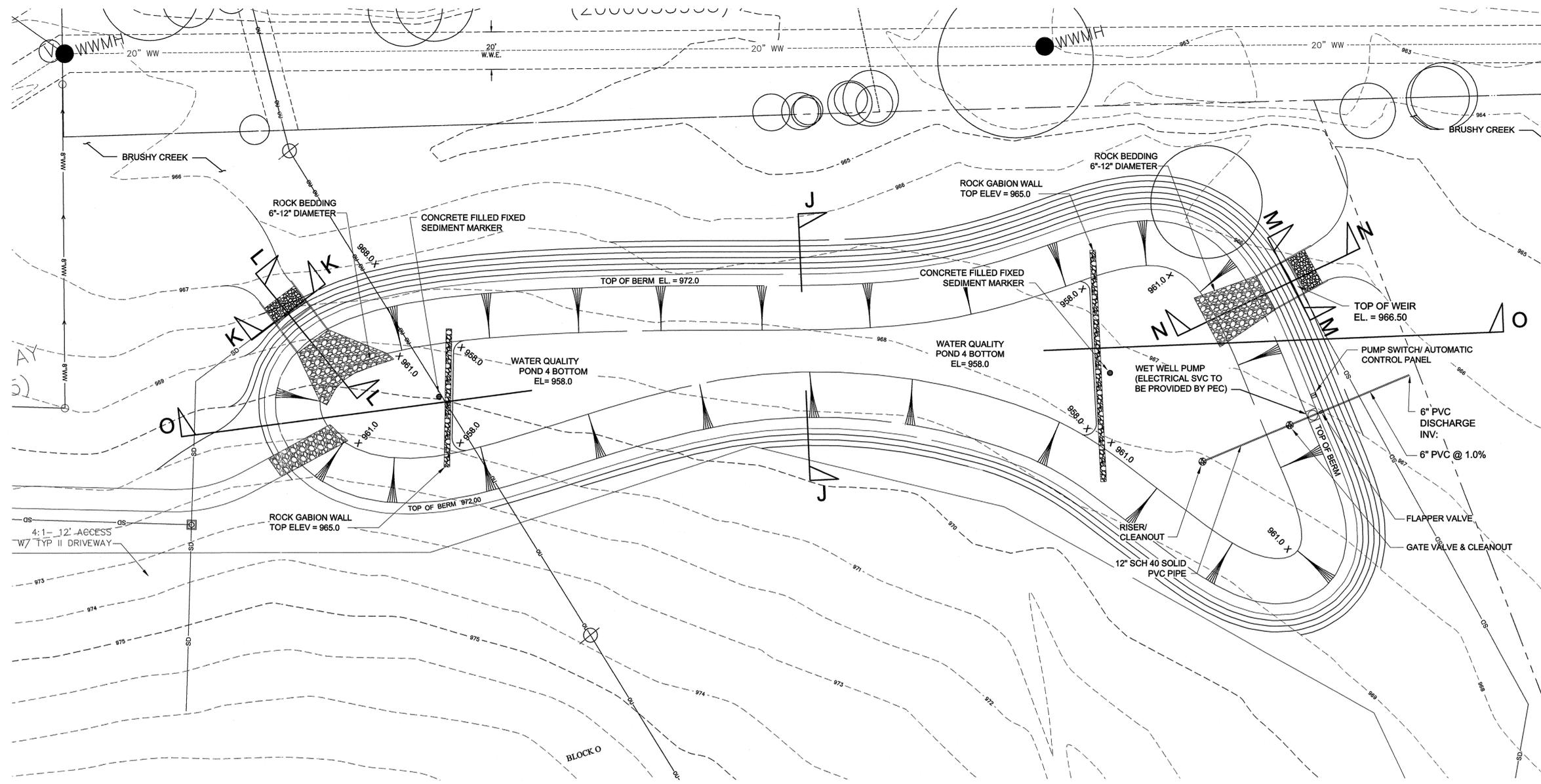
REVISIONS:



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AUSTIN TEXAS 78757
PHONE: 512.454.8711
FAX: 512.458.8667
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
PRELIMINARY PLAT
SAND FILTER 3 CROSS SECTIONS

JOB NO. 50784-00
DATE FEBRUARY 2014
DESIGNER JB
CHECKED DRAWN WJGD
SHEET 19 OF 26



WET BASIN 4

SEE SHEET 21 FOR CROSS SECTIONS "J-J", "K-K", "L-L", "M-M", & "N-N"

**Texas Commission on Environmental Quality
Contributing Zone Plan
General Construction Notes**

- WRITTEN CONSTRUCTION NOTIFICATION SHOULD BE PROVIDED TO THE APPROPRIATE TCEQ REGIONAL OFFICE NO LATER THAN 48 HOURS PRIOR TO COMMENCEMENT OF THE REGULATED ACTIVITY. INFORMATION SHOULD INCLUDE THE DATE ON WHICH THE REGULATED ACTIVITY WILL COMMENCE, THE NAME OF THE APPROVED PLAN FOR THE REGULATED ACTIVITY, AND THE NAME OF THE PRIME CONTRACTOR WITH THE NAME AND TELEPHONE NUMBER OF THE CONTACT PERSON.
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NOTES:

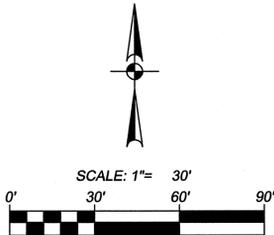
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE ASSOCIATED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THIS PROJECT IS WITHIN EDWARDS AQUIFER CONTRIBUTING ZONE AS PER THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
- EXISTING CONTOUR INFORMATION SHOWN HERE ON THIS PLAN SHEET ARE SHOWN AT (1) ONE FOOT INTERVALS, THEY ARE COMPUTER GENERATED USING FIELD DATA.
- ALL TREES MUST MAINTAIN A VERTICAL CLEARANCE OF AT LEAST 14 FEET ABOVE THE MAINTENANCE ACCESS STRIP.

FILL SPECIFICATIONS:

- MATERIAL SHALL NOT CONTAIN ANY ROCKS WITH ANY DIMENSIONS GREATER THAN 6".
- MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, TRASH, CONCRETE RUBBLE AND OTHER ORGANIC MATERIAL.
- ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS.
- PLACEMENT SHALL BE IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTION. EACH LIFT SHALL BE INSPECTED AND TESTED PRIOR TO PLACEMENT OF THE NEXT LIFT. TESTING SHALL BE DONE ON AN AVERAGE OF ONE DENSITY PER 5000 SQUARE FEET PER LIFT AREA.

LEGEND

TW	TOP OF WALL
TB	TOP OF BERM
TS	TOE OF SLOPE
EOC	EDGE OF CONCRETE



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REVISIONS:



PAPE-DAWSON ENGINEERS

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TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

**OAK CREEK
PRELIMINARY PLAT
WET BASIN 4**

JOB NO. 50784-00
DATE FEBRUARY 2014
DESIGNER WT
CHECKED JB DRAWN WT/GD
SHEET 20 OF 26

WATER QUALITY SAND FILTER - TCEQ SIZING AND TSS REMOVAL CALCULATIONS

Texas Commission on Environmental Quality		Project Name: Michelle Tract	
TSS Removal Calculations 04-20-2009		Date Prepared: 9/24/2013	
Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell. Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348. Characters shown in red are data entry fields.			
Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.			
1. The Required Load Reduction for the total project:		Calculations from RG-348	Pages 3-27 to 3-30
Page 3-29 Equation 3.3: $L_M = 27.2(A_{NI} \times P)$			
where:	L_M TOTAL PROJECT =	Required TSS removal resulting from the proposed development = 80% of increased load	
	A_{NI} =	Net increase in impervious area for the project	
	P =	Average annual precipitation, inches	
Site Data: Determine Required Load Removal Based on the Entire Project			
	County =	Williamson	
	Total project area included in plan =	0.00 acres	
	Predevelopment impervious area within the limits of the plan =	0.00 acres	
	Total post-development impervious area within the limits of the plan =	0.00 acres	
	Total post-development impervious cover fraction =	#DIV/0!	
	P =	32 inches	
	L_M TOTAL PROJECT =	0 lbs.	
* The values entered in these fields should be for the total project area.			
	Number of drainage basins / outfalls areas leaving the plan area =	4	
2. Drainage Basin Parameters (This information should be provided for each basin):			
	Drainage Basin/Outfall Area No. =	C	
	Total drainage basin/outfall area =	60.77 acres	
	Predevelopment impervious area within drainage basin/outfall area =	0.00 acres	
	Post-development impervious area within drainage basin/outfall area =	39.00 acres	
	Post-development impervious fraction within drainage basin/outfall area =	0.64	
	L_M THIS BASIN =	33946 lbs.	
3. Indicate the proposed BMP Code for this basin.			
	Proposed BMP =	Wet Basin	
	Removal efficiency =	93 percent	
		Aqualogic Cartridge Filter	
		Bioretention	
		Cortech StormFilter	
		Constructed Wetland	
		Extended Detention	
		Grassy Swale	
		Retention / Irrigation	
		Sand Filter	
		Stormceptor	
		Vegetated Filter Strips	
		Vortechs	
		Wet Basin	
		Wet Vault	
4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.			
	RG-348 Page 3-33 Equation 3.7: $L_R = (BMP \text{ efficiency}) \times P \times (A_i \times 34.6 + A_p \times 0.54)$		
where:	A_C =	Total On-Site drainage area in the BMP catchment area	
	A_i =	Impervious area proposed in the BMP catchment area	
	A_p =	Pervious area remaining in the BMP catchment area	
	L_R =	TSS Load removed from this catchment area by the proposed BMP	
	A_C =	60.77 acres	
	A_i =	39.00 acres	
	A_p =	21.77 acres	
	L_R =	40508 lbs.	
5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area			
	Desired L_M THIS BASIN =	33946 lbs.	
	F =	0.84	
6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area. Calculations from RG-348 Pages 3-34 to 3-36			
	Rainfall Depth =	1.26 inches	
	Post Development Runoff Coefficient =	0.45	
	On-site Water Quality Volume =	125808 cubic feet	
		Calculations from RG-348 Pages 3-36 to 3-37	
	Off-site area draining to BMP =	0.00 acres	
	Off-site impervious cover draining to BMP =	0.00 acres	
	Impervious fraction of off-site area =	0	
	Off-site Runoff Coefficient =	0.00	
	Off-site Water Quality Volume =	0 cubic feet	
	Storage for Sediment =	25182 cubic feet	
	Total Capture Volume (required water quality volume(s) x 1.20) =	150970 cubic feet	
The following sections are used to calculate the required water quality volume(s) for the selected BMP.			
The values for BMP Types not selected in cell C45 will show NA.			
11. Wet Basins		Designed as Required in RG-348	Pages 3-66 to 3-71
	Required capacity of Permanent Pool =	150970 cubic feet	
	Required capacity at WQV Elevation =	276778 cubic feet	
		Permanent Pool Capacity is 1.20 times the WQV	
		Total Capacity should be the Permanent Pool Capacity plus a second WQV.	

Texas Commission on Environmental Quality
Contributing Zone Plan
General Construction Notes

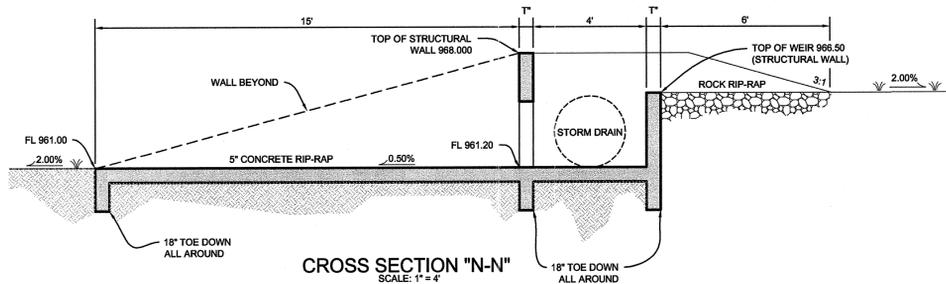
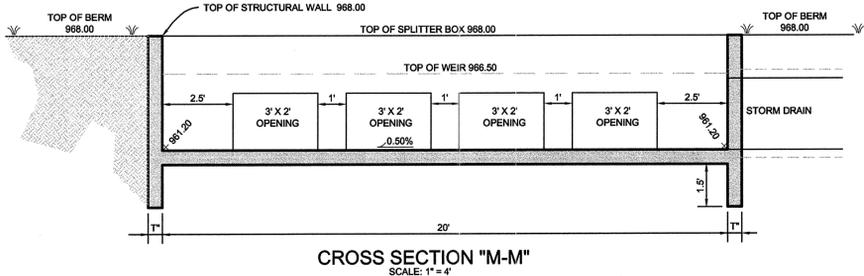
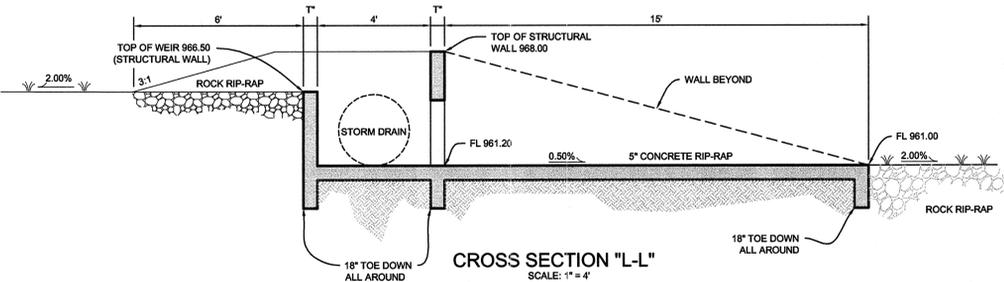
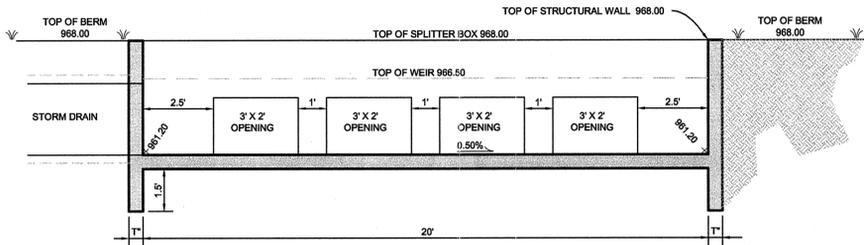
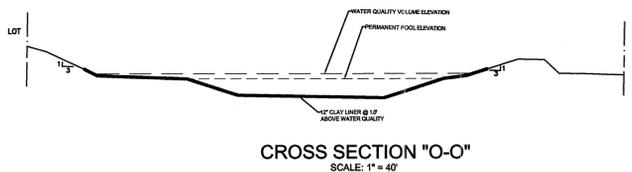
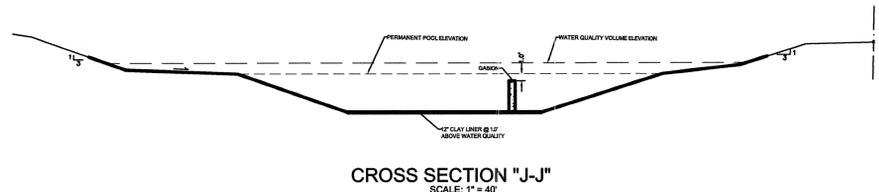
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- REFER TO LANDSCAPE ARCHITECT SPECIFICATIONS FOR SOIL PREPARATION, GENERAL VEGETATION, SIDE SLOPE VEGETATION EROSION CONTROL AND TEMPORARY IRRIGATION GUIDELINES.

WATER QUALITY POND 4



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REVISIONS:

James A. Huffcutt
2-4-4



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OAK CREEK
PRELIMINARY PLAT
WET BASIN 4 CROSS SECTIONS

JOB NO. 50784-00

DATE FEBRUARY 2014

DESIGNER JB

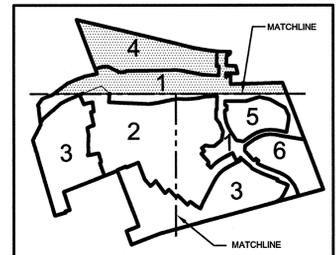
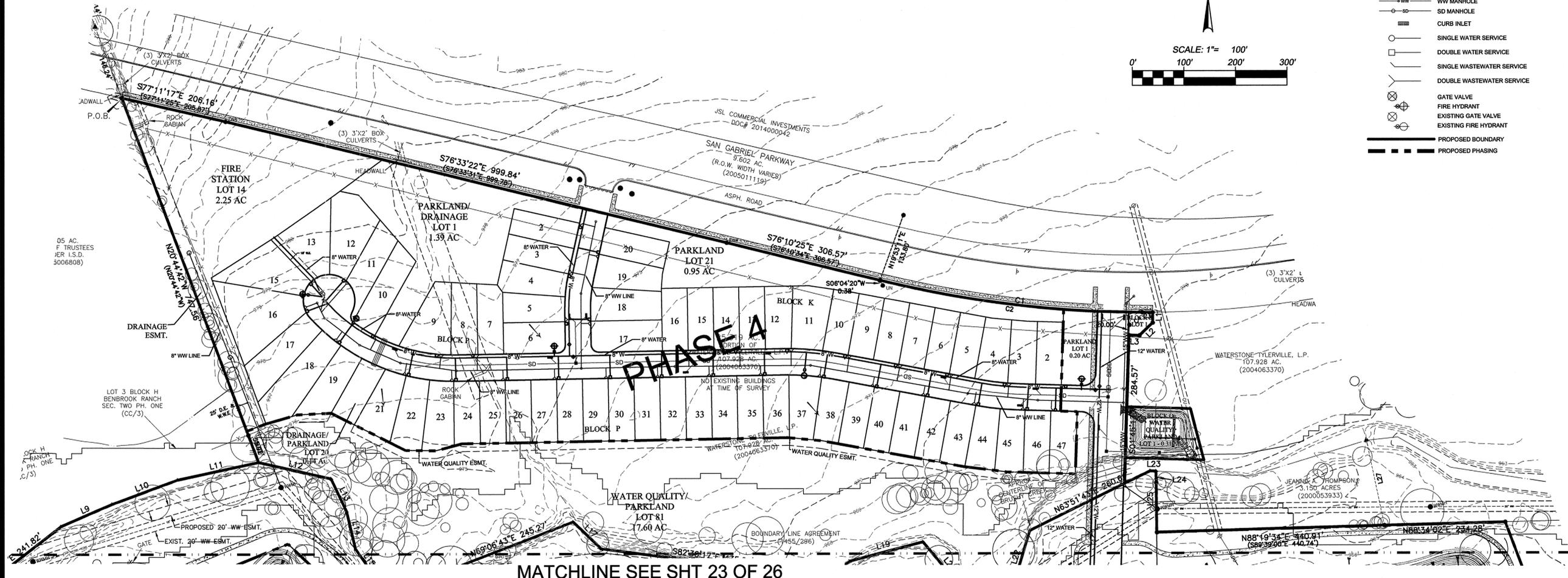
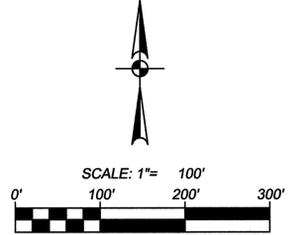
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SHEET 21 OF 26

- NOTES:**
1. WATER AND WASTEWATER LINES TO BE 8" UNLESS OTHERWISE NOTED.
 2. UTILITY ASSIGNMENTS
WATER LINE 1' TO 5' BEHIND CURB
WASTEWATER LINE 5' FROM ROW CENTERLINE
 3. GAS IS TO BE 6' TO 10' BEHIND CURB (SAME SIDE AS WATER)
 4. WASTEWATER LINE SHOWN SCHEMATICALLY AS CURVILINEAR, BUT WILL BE DESIGNED AS STRAIGHT LINES BETWEEN MANHOLES WHERE REQUIRED.

LEGEND

—	CENTER LINE
— W —	WATER LINE
— WW —	WASTEWATER LINE
— SD —	STORM DRAIN LINE
— WW —	WW MANHOLE
— SD —	SD MANHOLE
—	CURB INLET
○	SINGLE WATER SERVICE
□	DOUBLE WATER SERVICE
—	SINGLE WASTEWATER SERVICE
—	DOUBLE WASTEWATER SERVICE
⊗	GATE VALVE
⊕	FIRE HYDRANT
⊗	EXISTING GATE VALVE
⊕	EXISTING FIRE HYDRANT
---	PROPOSED BOUNDARY
---	PROPOSED PHASING



PRELIMINARY PHASING PLAN

REVISIONS:



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SUITE 200 WEST
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FAX: 512.468.8887
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

OAK CREEK
PRELIMINARY PLAT

OVERALL UTILITY LAYOUT (SHT 1 OF 3)

JOB NO. 50784-00
DATE MARCH 2014
DESIGNER WT
CHECKED DRAWN WT/GD
SHEET 22 OF 26

DATE: Mar 12, 2014 6:59PM USER ID: GDVON
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MATCHLINE SEE SHT 22 OF 26



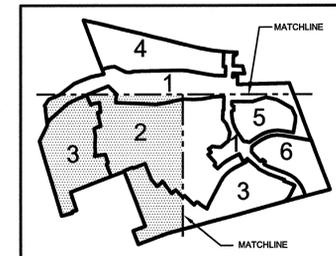
MATCHLINE SEE SHT 24 OF 26

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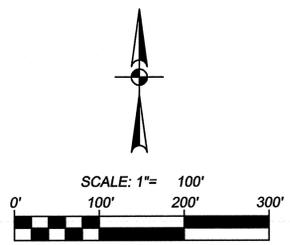
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GAS IS TO BE 6' TO 10' BEHIND CURB (SAME SIDE AS WATER)
4. WASTEWATER LINE SHOWN SCHEMATICALLY AS CURVILINEAR, BUT WILL BE DESIGNED AS STRAIGHT LINES BETWEEN MANHOLES WHERE REQUIRED.

LEGEND

- CENTER LINE
- W WATER LINE
- WW WASTEWATER LINE
- SD STORM DRAIN LINE
- WW WW MANHOLE
- SD SD MANHOLE
- CURB INLET
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- SINGLE WASTEWATER SERVICE
- DOUBLE WASTEWATER SERVICE
- ⊗ GATE VALVE
- ⊕ FIRE HYDRANT
- ⊗ EXISTING GATE VALVE
- ⊕ EXISTING FIRE HYDRANT
- - - PROPOSED BOUNDARY
- - - PROPOSED PHASING



PRELIMINARY PHASING PLAN



REVISIONS:

DATE: 03/10/14



PAPE-DAWSON ENGINEERS

7805 SICAL CREEK BLVD | SUITE 220 WEST | AUSTIN, TEXAS 78757
PHONE: 512.468.8711 | FAX: 512.468.8887
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

OAK CREEK
PRELIMINARY PLAT

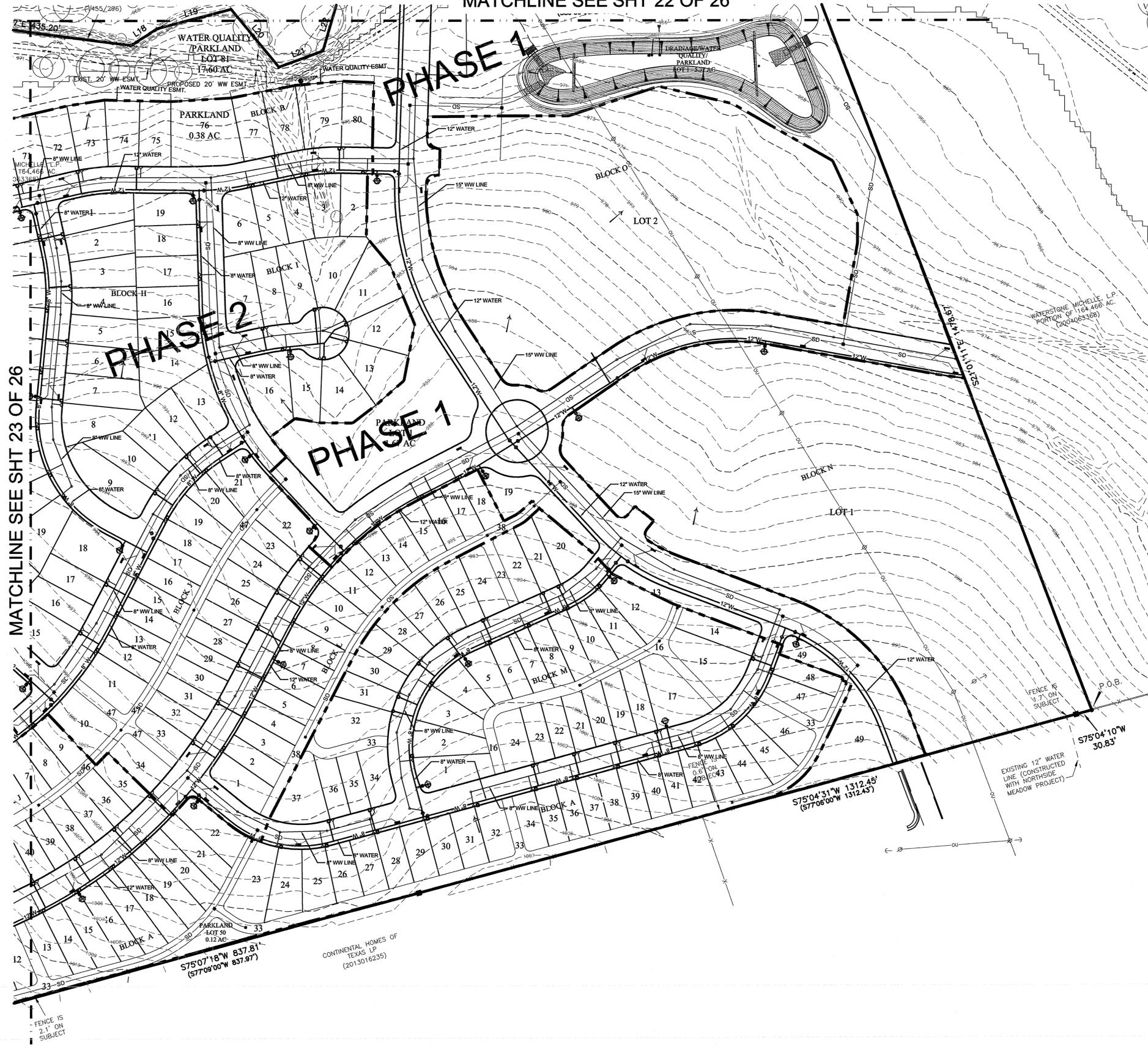
OVERALL UTILITY LAYOUT (SHT 2 OF 3)

JOB NO. 50784-00
DATE MARCH 2014
DESIGNER WT
CHECKED 10 DRAWN WT/GD
SHEET 23 OF 26

DATE: Mar 10, 2014, 6:58PM USER: ID: GADWIN
FILE: P:\PROJECTS\50784-00\SSD\PRELIM\PLAT\23\14050784-00.DWG

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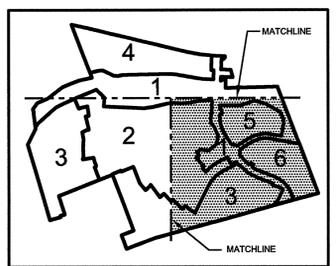
MATCHLINE SEE SHT 22 OF 26



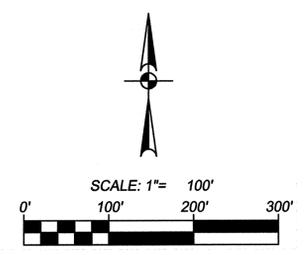
- NOTES:**
1. WATER AND WASTEWATER LINES TO BE 8" UNLESS OTHERWISE NOTED.
 2. UTILITY ASSIGNMENTS
WATER LINE 1' TO 5' BEHIND CURB
WASTEWATER LINE 5' FROM ROW CENTERLINE
 3. GAS IS TO BE 6' TO 10' BEHIND CURB (SAME SIDE AS WATER)
 4. WASTEWATER LINE SHOWN SCHEMATICALLY AS CURVILINEAR, BUT WILL BE DESIGNED AS STRAIGHT LINES BETWEEN MANHOLES WHERE REQUIRED.

LEGEND

—	CENTER LINE
W	WATER LINE
WW	WASTEWATER LINE
SD	STORM DRAIN LINE
⊕	WW MANHOLE
⊕	SD MANHOLE
—	CURB INLET
○	SINGLE WATER SERVICE
□	DOUBLE WATER SERVICE
—	SINGLE WASTEWATER SERVICE
—	DOUBLE WASTEWATER SERVICE
⊗	GATE VALVE
⊕	FIRE HYDRANT
⊗	EXISTING GATE VALVE
⊕	EXISTING FIRE HYDRANT
---	PROPOSED BOUNDARY
- - -	PROPOSED PHASING



PRELIMINARY PHASING PLAN



REVISIONS:

1. 03/13/14



PAPE-DAWSON ENGINEERS

2000 SLOAN CREEK BLVD
SUITE 200 WEST
AUSTIN TEXAS 78757
PHONE: 512.454.8711
FAX: 512.450.8887
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

OAK CREEK
PRELIMINARY PLAT

OVERALL UTILITY LAYOUT (SHT 3 OF 3)

JOB NO. 50784-00

DATE MARCH 2014

DESIGNER WT

CHECKED DRAWN WT/GD

SHEET 24 OF 26

DATE: Mar 12, 2014, 7:00PM USER ID: GDWDM
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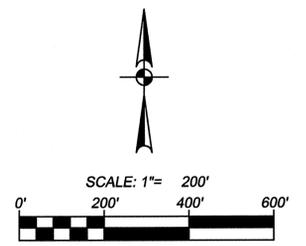
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DATE: Mar 13, 2014, 11:39AM USER ID: WTLULIS
 FILE: P:\PROJECTS\50784\50784 PRELIMINARY\DWG\50784-00.DWG



LEGEND

- PROPOSED BOUNDARY
- - - - - PROPOSED PHASING
- 4' SIDEWALK
- 6' SIDEWALK
- 8' SIDEWALK
- [Stippled Area] PARKLAND



MICHELLE/TYLERVILLE/OAKCREEK PARKLAND DEDICATION REQUIREMENTS 26-Feb-14

Phase	Lots	Parkland Required	Parkland Proposed*	Floodplain Acres	Acres Credited	Rec. Imp. Fee Required**
1	0	0	26.46	12.1	20.41	\$ -
2	189	6.62	1.95		1.95	\$ 66,150.00
3	194	6.79	1.76		1.76	\$ 67,900.00
4	63	2.2	2.54		2.54	\$ 22,050.00
Totals:	446	15.61	32.71	12.1	26.66	\$ 156,100.00

* Parkland along the creek to be dedicated to the City for public use.
 ** The first priority for use of the recreation improvement fees is to construct the 3,900 +/- x 8' trail and park amenities in the public park area. The alignment shall be approved by the Parks & Recreation Director prior to construction.
 *** The Parks & Recreation Director must also approve design of water quality and drainage features placed on public parkland prior to construction. Water quality and drainage facilities shall be designed to look natural and all visible concrete structures must be finished with native stone.

REVISIONS:

Jan C. Dignak 03/13/14



PAPE-DAWSON ENGINEERS

7800 SICAL CREEK BLVD | SUITE 220 WEST | AUSTIN TEXAS 78757 | PHONE: 512.464.8711 | FAX: 512.468.8887
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION # 470

**OAK CREEK
 PRELIMINARY PLAT
 PARKLAND PLAN**

JOB NO. 50784-00
 DATE MARCH 2014
 DESIGNER WT
 CHECKED TD DRAWN WT/GD
 SHEET 26 OF 26



EXECUTIVE SUMMARY

MARCH 27, 2014

-
- Agenda Subject:** Zoning Case 13-Z-025: Hold a public hearing and consider action on the rezoning of a tract of land located on the northwest corner of Osage Drive and Highland Trail; 0.94 acres more or less out of the AW0896 – Morris, J Survey; WCAD Parcel #R484296. Currently, the property is zoned SFU-2-B (Single-Family Urban). The property is proposed to be zoned PUD (Planned Unit Development), Leander, Williamson County, Texas.
- Background:** This request is the first step in the rezoning process.
- Origination:** Applicant: Samuel Kiger, P.E. on behalf of Lookout Development Group LP.
- Financial Consideration:** None
- Recommendation:** See Planning Analysis.
- Motion:** APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)
- DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.
- Attachments:**
1. Planning Analysis
 2. Current Zoning Map
 3. Aerial Map
 4. Proposed PUD
 5. Letter of Intent
- Prepared By:** Robin M. Griffin, AICP
Senior Planner
- 03/17/2014



PLANNING ANALYSIS

ZONING CASE 13-Z-025 HIGHLANDS PUD

GENERAL INFORMATION

- Owner:** Lookout Development Group LP.
- Current Zoning:** SFU-2-B (Single-Family Urban)
- Proposed Zoning:** PUD (Planned Unit Development)
- Size and Location:** The property is located on the northwest corner of Osage Drive and Highland Trail and is approximately 0.94 acres in size.
- Staff Contact:** Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	SFU-2-B	Winkley Elementary School
EAST	LC-2-B	Undeveloped Land Zoned for Local Commercial
SOUTH	SFU-2-B	Established Single-Family Homes (Highlands Neighborhood)
WEST	SFU-2-B	Established Single-Family Homes (Highlands Neighborhood)

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:**PUD – PLANNED UNIT DEVELOPMENT:**

The purpose and intent of the Planned Unit Development (PUD) district is to design unified standards for development in order to facilitate flexible, customized zoning and subdivision standards which encourage imaginative and innovative designs for the development of property within the City. The intent of this zoning request is to provide for the design of a development which permits local office use. In addition, the PUD will prohibit uses, limit hours of operation, determine access and parking locations, increase the landscaping requirements, and establish the architectural standards. The intent of this zoning district is to cohesively regulate the development to assure compatibility with adjacent single-family residences, neighborhoods, and commercial properties within the region.

LO – LOCAL OFFICE:

Features: Office, assisted living, day care. Hours of operation: 7:00 a.m. to 10:00 Sun.-Thurs., 7:00 a.m. to 11:00 p.m. Fri. and Sat.

Intent: Development of small scale, limited impact office uses or similar uses which may be located adjacent to residential neighborhoods. Access should be provided by a collector or higher classification street. This component is intended to help provide for land use transitions from local or general commercial or from arterial streets to residential development.

SITE COMPONENT:**TYPE 1:**

Features: Accessory buildings greater of 5% of primary building or 120 sq. ft.; 150% of standard landscaping; pedestrian scale signage and lighting; scale of buildings limited; mansion style multi-family; at least eighty-five percent (85%) of multi-family units are required to have at least one enclosed garage parking space; alley access to SFL and SFT; accessory dwellings for SFT and SFE.

Intent:

- (1) The Type 1 site component is intended to be utilized typically for non-residential or multi-family developments that have frontage on a local residential street or residential collector street and are bounded by single-family development on at least one side. This component is also intended to be utilized for single-family and two-family residential lots backing up to or siding to a major thoroughfare.
- (2) This component ensures that development will not have site intensive uses or large buildings and will ensure that development is designed to a form and scale that is compatible with residential neighborhoods.

ARCHITECTURAL COMPONENT:**TYPE A:**

Features: 85% masonry; 5 or more architectural features.

Intent:

- (1) The Type A architectural component is intended to be utilized for high quality developments or to provide variety as an additional option for portions of a residential development and may be utilized in or adjacent to single-family uses.

- (2) This component is intended to be utilized for single-family development that backs up to, or sides to, a major thoroughfare.
- (3) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions by applying this component to a less restrictive use or site component adjacent to a more restrictive use or site component. This standard may be utilized to help ensure compatibility for non-residential uses, multi-family, two-family, townhouse or small lot residential development with adjacent property that is more restricted.
- (4) This component is intended to be utilized for buildings requiring heights greater than those provided in other architectural components.
- (5) This component may be utilized for any high profile development, for any property in a prominent location or at an important gateway to the community.
- (6) This component is not intended to become an involuntary standard for the majority of a single-family subdivision, especially with SFR, SFE, SFS, SFU and SFC components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Plan for continued growth and development that improves the community's overall quality of life and economic viability.
- Establish high standards for development.

ANALYSIS:

The applicant is requesting the PUD (Planned Unit Development) district in order to allow for the development of a small professional office or a medical office at this location. The base zoning district for the PUD is LO-1-A (Local Office). The Local Office use component allows for small scale, limited impact office uses located adjacent to residential neighborhoods. This component is intended to provide a land use transition from more intense commercial districts or arterial streets to residential development.

In addition, the Type 1 site component is intended for projects adjacent to residential and ensures that development will not have site intensive uses or large buildings. The form and scale must be designed so that it is compatible with a residential neighborhood. This site component requires a minimum of 150% of the standard landscape requirements for area and plant materials and that the detention/water quality ponds use earthen berms. The Type 1 site component prohibits the following uses:

- Outdoor Display and Storage
- Outdoor Entertainment Venues
- Outdoor Fuel Sales
- Overhead Commercial Doors
- Drive-Through Lanes

The Type A architectural component requires at least eight-five (85%) of the exterior surface area walls are masonry and that there are a minimum of five design features. This component is intended to provide high building standards and ensure compatibility between non-residential and residential uses.

In addition, the applicant is proposing the following additional restrictions:

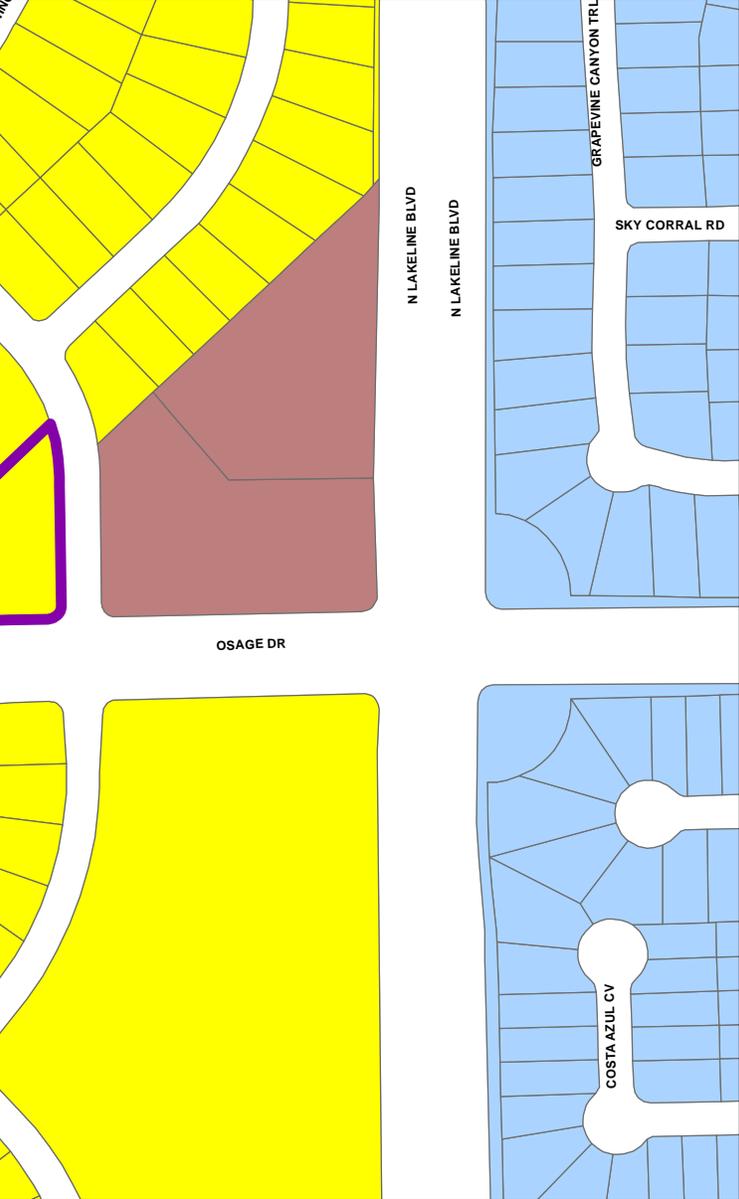
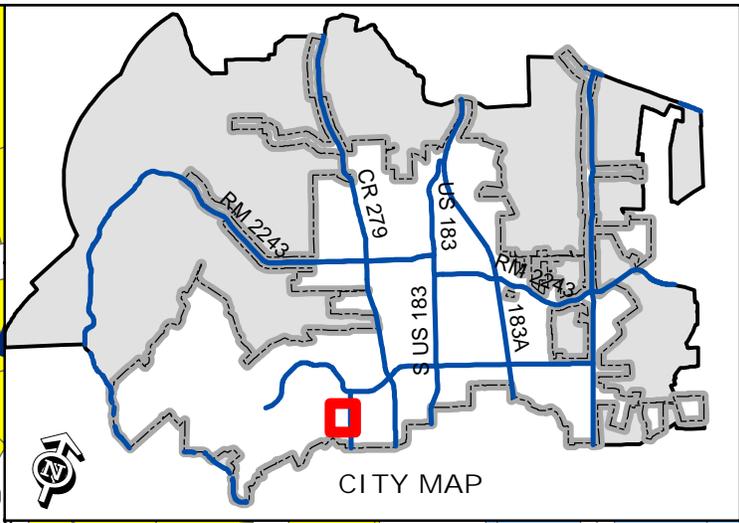
- Business hours shall be no earlier than 8:00 a.m. and no later than 6:00 p.m.
- Access to the parking lot will not be allowed from Highland Trail, but will be allowed through a joint driveway from the mail kiosk site connecting to Osage Drive. The parking will be located behind the structure as shown in the attached PUD Plan.
- The architecture of the building shall be complementary to the single-family neighborhood by having a pitched roof and building massing as depicted in the attached PUD Plan.
- The landscaping and landscape area shall be increased by 50% of the current requirements.

The following uses shall be prohibited:

- Bar, nightclub or private club;
- Entertainment venues including bowling alleys, golf practice ranges, miniature golf establishments, theaters, amusement parks, arcades, arenas, stadiums, gymnasiums, skating rinks, commercial sports venues, indoor shooting range;
- Sexually oriented businesses
- Vehicle and major equipment sales, rental or leasing, repair, body shop
- Animal hospital, veterinarian, animal boarding including a crematory associated with such use on site, or a crematory associated with a cemetery, as long as the crematory stack is located at least two hundred feet (200') from a restaurant, or associated parking, or a residential zoning district (unless such district is utilized for non-residential uses). Any commercial enterprise which includes an outdoor animal yard or any other commercial un-soundproofed animal area containing five or more animals is required to be at least two hundred feet (200') from any residential district (unless such district is utilized for non-residential uses) and is required to be combined with a Type 3, 4 or 5 site component.
- (For lots or tracts three or more acres in size) ranches, dairy farms, stables, riding academies and roping arenas; including the feeding, raising and breeding of agricultural livestock and exotic hoof stock
- Any uses permitted in the HC (Heavy Commercial) use component
- Bingo Parlor
- Pawn Shop
- Tattoo and/or Body Piercing Parlor
- RV, trailer, commercial motor vehicle and boat outdoor storage
- Transportation related facilities including commercial parking lots, passenger terminals, taxi cab stations and mass transit terminals

STAFF RECOMMENDATION:

Staff recommends approval of the requested PUD. The LO use component is intended to provide a land use transition from more intense commercial districts or arterial streets to residential development. In addition, the proposed Type 1 site component restricts the size of the buildings and ensures that development is designed to a form and scale that is compatible with residential neighborhoods. The requested PUD meets the intent statements of the Composite Zoning Ordinance and the goals of the Comprehensive Plan.



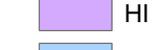
ZONING CASE 13-Z-025

Attachment #2

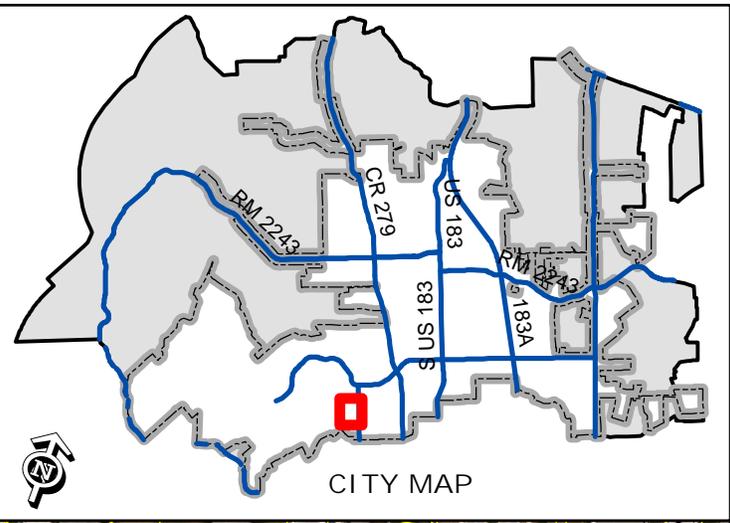
Current Zoning Map
Highland Trails PUD



-  Subject Property
-  City Limits
-  Future Annexation Per DA
-  Involuntary Annexation
-  Voluntary Annexation

- | | | |
|---|--|---|
|  SFR |  SFT |  GC |
|  SFE |  SFU/MH |  LI |
|  SFS |  TF |  HI |
|  SFU |  MF |  PUD |
|  SFC |  LO | |
|  SFL |  LC | |





ZONING CASE 13-Z-025 Attachment # 3

Aerial Exhibit - Approximate Boundaries
Highland Trails PUD



-  Subject Property
-  City Limits



**CONCEPTUAL
LOOKOUT GROUP**

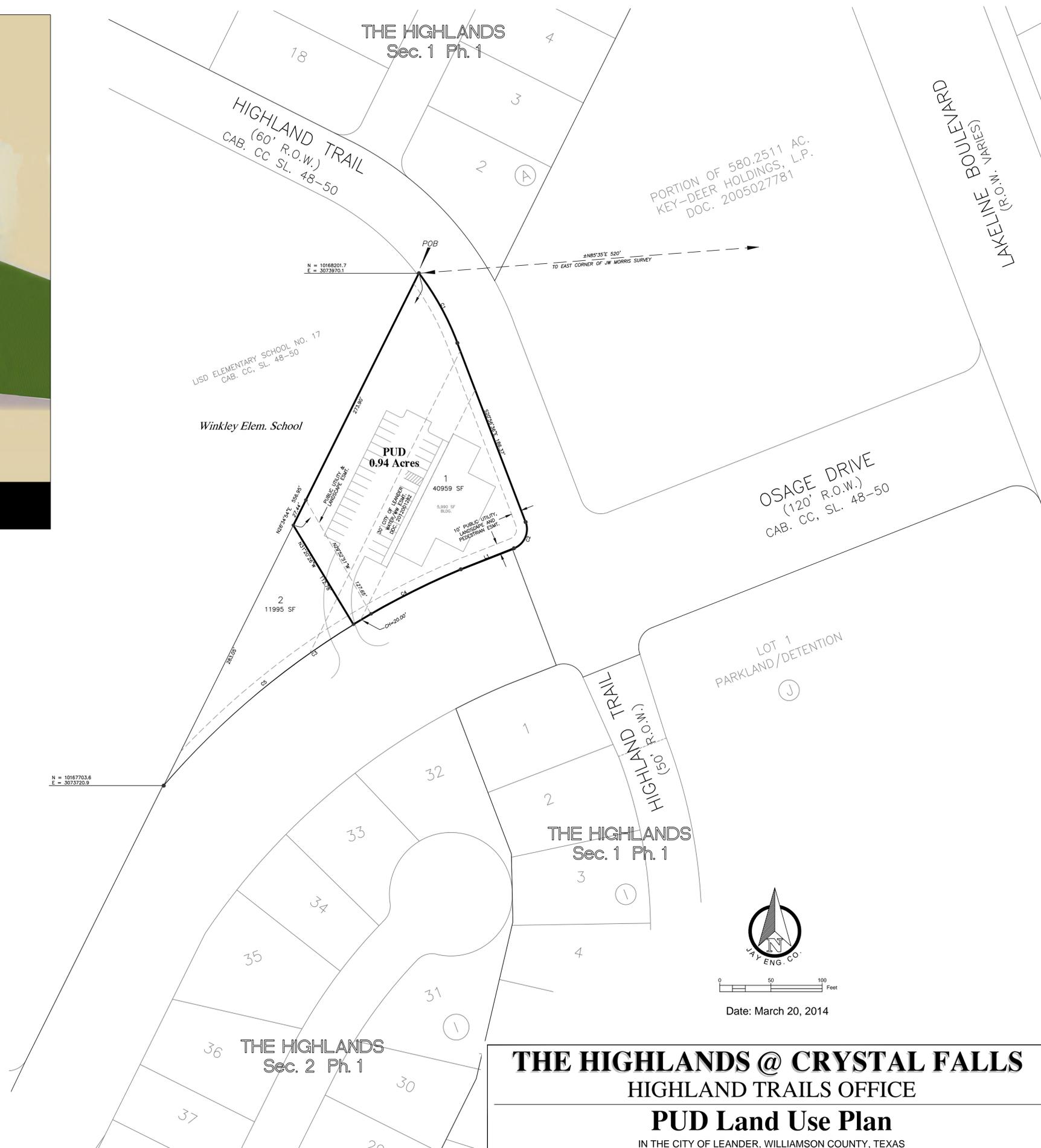
PREPARED BY:
SEC PLANNING, LLC

Notes:

1. Layout is Conceptual.
2. Business hours shall be no earlier than 8am and no later than 6pm.
Lighting shall be shielded to ensure no light spillage on surrounding property.
3. No Parcel shall be used for any of the following uses, directly or indirectly:
 - Bar, nightclub or private club;
 - Entertainment venues including bowling alleys, golf practice ranges, miniature golf establishments, theaters, amusement parks, arcades, arenas, stadiums, gymnasiums, skating rinks, commercial sports venues, indoor shooting range;
 - Sexually oriented businesses;
 - Vehicle and major equipment sales, rental or leasing, repair, body shop;
 - Animal hospital, veterinarian, animal boarding including a crematory associated with such use on site, or a crematory associated with a cemetery, as long as the crematory stack is located at least two hundred feet (200') from a restaurant, or associated parking, or a residential zoning district (unless such district is utilized for non-residential uses). Any commercial enterprise which includes an out door animal yard or any other commercial un-soundproofed animal area containing five or more animals is required to be at least two hundred feet (200') from any residential district (unless such district is utilized for non-residential uses) and is required to be combined with a Type 3, 4 or 5 site component;
 - (For lots or tracts three or more acres in size) ranches, dairy farms, stables, riding academies and roping arenas; including the feeding, raising and breeding of agricultural livestock and exotic hoof stock;
 - Any uses permitted in the LI (Light Industrial) use component;
 - Bingo Parlor;
 - Pawn Shop;
 - Tattoo and/or Body Piercing Parlor;
 - RV, trailer, commercial motor vehicle and boat outdoor storage;
 - Transportation related facilities including commercial parking lots, passenger terminals, taxi cab stations and mass transit terminals
4. No access to the parking lot will be allowed from Highland Trail. Access to the parking lot will be allowed only from Osage Drive through a joint driveway from the mail kiosk site.
5. Parking will be located behind the structure.
6. The architecture of the building shall be complementary to the single-family neighborhood and the structure shall have a pitched roof.
7. The landscaping and the landscape area shall be increased by 50% of the current requirement per Type 1 Site Component regulations for a total of 150% of the requirement.
8. The base zoning district for this PUD shall be LO-1-A. PUD will comply with all architectural, landscape and elevation requirements for City of Leander Zoning Ordinance LO-1-A.

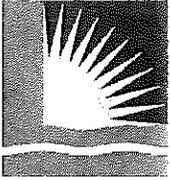


CRYSTAL FALLS II™
The Natural Alternative To Subdivisions



THE HIGHLANDS @ CRYSTAL FALLS
HIGHLAND TRAILS OFFICE
PUD Land Use Plan
IN THE CITY OF LEANDER, WILLIAMSON COUNTY, TEXAS

G:\Projects\Lookout-Crystal Falls II\Drawings\PLD_PUD_152-509-20\Plan\Highland-Trail-PUD-Plan_03-20-14.dwg



THE LOOKOUT GROUP

2370 Rice Blvd., Suite 200
Houston, Texas 77005
Tel: 713.524.5263
Fax: 713.524.2807
mycrystalfalls.com

November 8, 2013

Ms. Robin Griffin
Senior Planner, City of Leander
104 North Brushy Street
PO Box 319
Leander, Texas 78646-0319
Fax (512) 528-2729

Re: Letter of Intent for PUD -Highlands at Crystal Falls

Dear Ms. Griffin:

I respectfully request for the City of Leander to consider the attached PUD application located at the intersection of Osage Drive and Highland Trail. The .94 acre tract described in this package is proposed to change from SFU-2-B to a PUD with a base zoning district of LO-1-A. The PUD will impose additional restrictions on the property than the base zoning district of LO-1-A. We will not seek any variances or relief from any of the ordinance requirements laid out in LO-1-A. While the property is currently zoned Single Family, the tract does not fit in the community as a home site. The .94 acre tract does lend itself to become a neighborhood service to serve the residents of the community such as: a small professional office or medical office.

We submit this PUD for the City to review; however, we do not want to initiate the public hearing process until 2014. As part of the ongoing discussions with a group of residents we had a request and have agreed to postpone any of the Planning and Zoning or City Council meetings until after the Holidays. We do wish to work through any City Staff comments ahead of the public hearings in 2014.

You can reach me at (512)260-2066 or mike@mycrystalfalls.com if you have any questions.

Regards,

Michael Siefert, P.E.
Vice President of Construction
The Lookout Development Group, Inc.