



AGENDA

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~ December 11, 2014 at 7:00 pm

**Place 1 Michelle Stephenson, Vice Chairman
Place 2 Joel Wixson
Place 3 Jason Anderson
Place 4 Sid Sokol**

**Place 5 Richard Allen
Place 6 Betty Saenz
Place 7 Jeff Seiler, Chair**

1. Call to Order
2. Roll Call
3. Approval of Minutes:
Regular Planning & Zoning Meeting: November 25, 2014
4. Director's report to P & Z Commissioners on actions taken by the City Council at the December 4, 2014.
5. Review meeting protocol
6. Citizen Communications - Three (3) minutes of time is allowed, per speaker

Consent Agenda

7. Subdivision Case 14-FP-003: Consider action on the Borho Phase 3 Final Plat for 5.758 acres more or less; WCAD Parcel # R031532; generally located on the northeast corner of the intersection of Abilene Ln and Trinity Woods St., Williamson County, Texas. Applicant/Agent: James A. Huffcut on behalf of Meritage Homes of Texas, LLC.

8. Subdivision Case 14-PP-013: Consider action on the Parkway Crossing Preliminary Plat for 27.623 acres more or less; WCAD Parcel #R497326; generally located 800 feet from the northeast corner of the intersection of Hwy 183A and E. Crystal Falls Pkwy; Williamson County, Texas. Applicant/Agent: Brian J. Parker on behalf of Crystal Falls LTD

Regular Agenda

9. Subdivision Case 14-TOD-PP-011: Consider action on the Hero Way Multi-Family Preliminary Plat for 9.674 acres more or less; WCAD Parcel R510024; generally located to the northeast of the intersection of Mel Mathis Avenue and Hero Way, Leander, Williamson County Texas. Applicant/Agent: Russell Kotara (Big Red Dog) on behalf of Jeff Musgrove (Transit Village Investments, LTD).
 - a) Staff Presentation
 - b) Applicant Presentation
 - c) Discussion
 - d) Consider Action

Public Hearing

10. Zoning Case 14-Z-031: Hold a public hearing and consider action on the rezoning of a portion of a tract of land, for 5.88 acres more or less, generally located to the northwest of the intersection of South Bagdad Road and Marsala Circle, WCAD Parcel R430194. Currently, the property is zoned LO-2-B (Local Office) and MF-2-B (Multi-Family) and the applicant is proposing to zone the property LC-2-B (Local Commercial) and MF-2-B (Multi-Family), Leander, Williamson County, Texas. Applicant: Ken Liem on behalf of Emmet J. and Sally Hawkes.
 - a) Staff Presentation
 - b) Applicant Presentation
 - c) Open Public Hearing
 - d) Close Public Hearing
 - e) Discussion
 - f) Consider Action

11. Consider and take action to select two P & Z members to serve on the Comprehensive Plan Update Steering Committee.

12. Meeting Adjourned

CERTIFICATION

This meeting will be conducted pursuant to the Texas Government Code Section 551. The City of Leander is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please call the City Secretary at 512/ 528-2700 for information. Hearing impaired or speech disabled persons equipped with telecommunications devices for the deaf may call 512/ 528-2800. I certify that the above notice of the Regular Meeting of the Planning and Zoning Commission of the City of Leander, Texas, was posted on the bulletin board at City Hall, in Leander, Texas, on the 4 day of December, 2014 by 5:00 pm pursuant to Chapter 551 of the Texas Government Code.

Tom Yantis, AICP – Director of Development Services



MINUTES

CITY OF LEANDER, TEXAS PLANNING & ZONING COMMISSION MEETING

Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas

Tuesday ~ November 25, 2014 at 7:00 pm

Place 1 Michelle Stephenson, Vice Chairman
Place 2 Joel Wixson
Place 3 Jason Anderson
Place 4 Sid Sokol

Place 5 Richard Allen
Place 6 Betty Saenz
Place 7 Jeff Seiler, Chair

1. Call to Order
Meeting called to order at 7:03 pm
2. Roll Call
All Commissioners were present except Vice Chairman Stephenson, Commissioner Allen and Commissioner Wixson. Commissioner Wixson arrived at 7:04.
3. Approval of Minutes:
Regular Planning & Zoning Meeting: November 13, 2014
Motion made by Commissioner Sokol to approve the minutes, seconded by Commissioner Anderson. Motion passed unanimously.
4. Director's report to P & Z Commissioners on actions taken by the City Council.
Robin Griffin, Senior Planner reported on actions that were taken by the City Council at their November 20, 2014 meeting on items that were recommended from the P & Z Commission.

5. Review meeting protocol.
Chairman Seiler referred to the meeting protocol.

6. Citizen Communications - Three (3) minutes of time is allowed, per speaker
No citizens wished to speak

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|-----------------------|
| Consent Agenda |
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7. Subdivision Case 14-FP-011: Consider action on the Borho Phase 4 Final Plat for 14.231 acres more or less; WCAD Parcel # 234648; generally located on the northeast corner of the intersection of Blended Tree Ranch Dr. and Privacy Hedge St., Williamson County, Texas. Applicant/Agent: James A. Huffcut, P.E. (Pape Dawson Engineers) on behalf of Meritage Homes of Texas, LLC.

Motion made by Commissioner Anderson to approve the consent agenda items, Seconded by Commissioner Sokol. Motion passed unanimously.

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|-----------------------|
| Public Hearing |
|-----------------------|

8. Zoning Case 14-Z-029: Hold a public hearing and consider action on the rezoning of two tracts of land, for 53.985 acres more or less, located at 10744 E. Crystal Falls Parkway, WCAD Parcels # R031201 & R080605. Currently, the property is zoned Interim SFR-1-B Single Family Rural) and the applicant is proposing to zone the property GC-2-A (General Commercial), Leander, Williamson County, Texas. Applicant: Bowman Consulting (W.L. Gabler) on behalf of Premas Global Leander, LLC

Postponed

9. Zoning Case 14-Z-030: Hold a public hearing and consider action on the rezoning of two tracts of land, for 51.84 acres more or less, generally located at 1208 S Bagdad Road, WCAD Parcels R031330 and R031331. Currently the property is zoned MF-2-B (Multi-Family) and GC-3-C (General Commercial), and the applicant is proposing to zone the property SFC-2-B (Single Family Compact), Leander, Williamson County, Texas. Applicant: Fred C. Lockwood on behalf of Kaymac V. LTD.

a) Staff Presentation

Robin Griffin, Senior Planner, discussed the request & surrounding land uses and stated that staff reviewed the request and it has staff approval.

b) Applicant Presentation

Fred C. Lockwood was present for questions.

c) Open Public Hearing

**Chairman Seiler opened the public hearing.
No one wished to speak.**

d) Close Public Hearing

Chairman Seiler closed the public hearing.

e) Discussion

Some discussion took place.

f) Consider Action

Commissioner Sokol moved to approve the staff recommendation of the SFC-2-B (Single-Family Compact) zoning district, Commissioner Wixson seconded the motion. Motion passed unanimously.

10. Meeting Adjourned at **7:18 p.m.**

Chairman Seiler

ATTEST:
Ellen Pizalate, P & Z Secretary

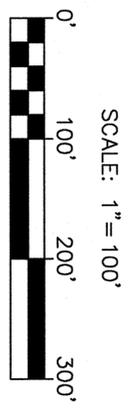
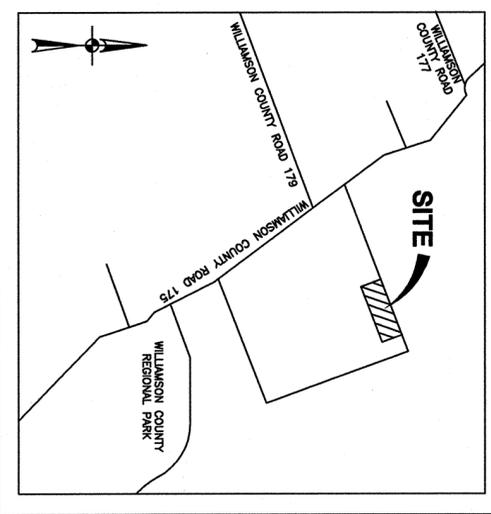


EXECUTIVE SUMMARY

DECEMBER 11, 2014

-
- Agenda Subject:** Subdivision Case 14-FP-003: Consider action on the Borho Phase 3 Final Plat for 5.758 acres more or less; WCAD Parcel # R031532; generally located on the northeast corner of the intersection of Abilene Ln and Trinity Woods St., Williamson County, Texas.
- Background:** This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the final plat satisfies the applicable regulations without requesting any variances.
- Origination:** Applicant/Agent: James A. Huffcut on behalf of Meritage Homes of Texas, LLC.
- Financial Consideration:** None
- Recommendation:** This final plat includes 28 single-family lots. This proposal meets all of the requirements of the Subdivision Ordinance. Staff recommends to conditionally approve the final plat with the following condition:
1. All conditions listed in the Subdivision Ordinance Article II, Section 24 (f) (3) regarding the acceptance of the final improvements or the posting of fiscal assurance for the final improvements have been met.
- Motion:** The Planning & Zoning Commission recommends approval of the final plat for the subject property.
- Attachments:** 1. Final Plat
- Prepared By:** Martin Siwek, AICP, GISP
Planner

12/1/2014



A 5.758 ACRES, OR 230,940 SQUARE FEET, MORE OR LESS, TRACT OF LAND BEING A PORTION OF THAT CERTAIN CALLED 103.798 ACRE TRACT OF LAND CONVERTED TO MERITAGE HOMES OF TEXAS, LLC IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2012102359 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, OUT OF THE ANASTASHA CARR SURVEY, ABSTRACT 122, WILLIAMSON COUNTY, TEXAS.

FINAL PLAT OF BORHO PHASE 3

| LEGEND | |
|--------------|---|
| ⊙ (SURVEYOR) | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| ⊙ | FOUND 1/2" IRON ROD WITH CAP |
| ○ | PROPERTY LINE ANGLE POINT OR POINT OF CURVATURE |
| A | BLOCK LETTER |
| PUE | PUBLIC UTILITY EASEMENT |
| ROW | RIGHT-OF-WAY |
| ORP | OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY |
| ... | SIDEWALK (SEE PLAT NOTE NO. 21) |
| --- | ETJ - CITY LIMITS |

LOCATION MAP

NOT TO SCALE

OWNER/SUBDIVIDER:
 MERITAGE HOMES OF TEXAS, LLC
 8020 BUSINESS PARK DRIVE, SUITE 330
 AUSTIN, TX 78739
 (512) 610-6715
 (512) 657-7896 FAX

ENGINEER:
 PAPE-DAWSON ENGINEERS, INC.
 7800 SHOAL CREEK BLVD.
 SUITE 220 WEST
 AUSTIN, TEXAS 78757
 (512) 454-8711

SURVEYOR:
 PAPE-DAWSON ENGINEERS, INC.
 7800 SHOAL CREEK BLVD.
 SUITE 220 WEST
 AUSTIN, TEXAS 78757
 (512) 454-8711

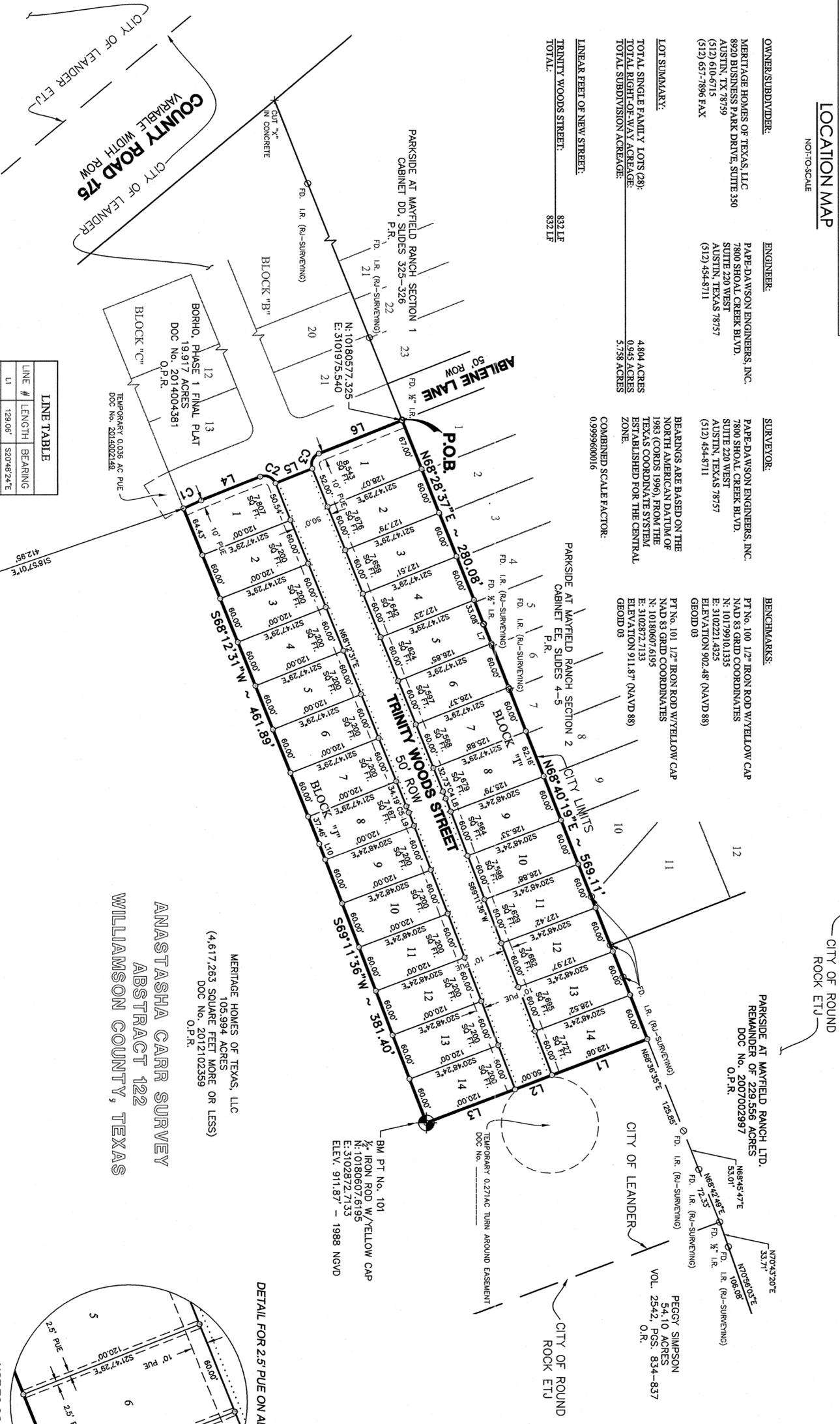
BENCHMARKS:
 PT No. 100 1/2" IRON ROD W/YELLOW CAP
 NAD 83 GRID COORDINATES
 N: 10179910.1335
 E: 3102221.4325
 ELEVATION 902.48' (NAVD 88)
 GEOID 03

LOT SUMMARY:
 TOTAL SINGLE FAMILY LOTS (28): 4,804 ACRES
 TOTAL RIGHT-OF-WAY ACREAGE: 0.945 ACRES
 TOTAL SUBDIVISION ACREAGE: 5.758 ACRES

BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORDS 1996), FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE CENTRAL ZONE.

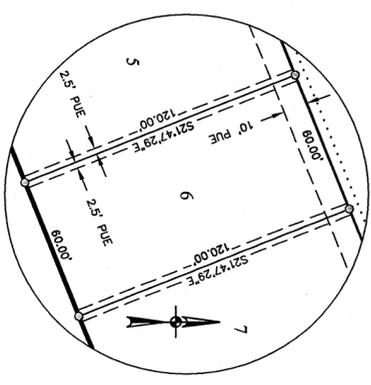
COMBINED SCALE FACTOR:
 0.9999600016

LINEAR FEET OF NEW STREET:
 TRINITY WOODS STREET: 832 LF TOTAL
 832 LF



| CURVE TABLE | | | | |
|-------------|---------|------------|---------------|--------------|
| CURVE # | RADIUS | DELTA | CHORD BEARING | CHORD LENGTH |
| C1 | 275.00' | 005°08'45" | N24°21'52"W | 24.69' |
| C2 | 15.00' | 080°00'00" | N23°12'31"E | 21.21' |
| C3 | 15.00' | 080°00'00" | N66°47'29"W | 23.56' |
| C4 | 550.00' | 000°59'05" | S88°42'04"W | 9.45' |
| C5 | 500.00' | 000°59'05" | N88°42'04"E | 8.59' |

| LINE TABLE | | |
|------------|---------|-------------|
| LINE # | LENGTH | BEARING |
| L1 | 129.06' | S20°48'24"E |
| L2 | 50.00' | S21°10'20"E |
| L3 | 120.00' | S20°48'24"E |
| L4 | 80.34' | N21°47'29"W |
| L5 | 80.00' | N21°47'29"W |
| L6 | 113.38' | N21°47'29"W |
| L7 | 28.92' | N88°40'19"E |
| L8 | 17.81' | S89°11'36"W |
| L9 | 18.13' | N89°11'36"E |
| L10 | 21.40' | S89°11'36"W |



MERITAGE HOMES OF TEXAS, LLC
 105,994 ACRES
 (4,617,263 SQUARE FEET MORE OR LESS)
 DOC No. 2012102359
 O.P.R.

ANASTASHA CARR SURVEY
 ABSTRACT 122
 WILLIAMSON COUNTY, TEXAS

| CURVE TABLE | | | | |
|-------------|---------|------------|---------------|--------------|
| CURVE # | RADIUS | DELTA | CHORD BEARING | CHORD LENGTH |
| C1 | 275.00' | 005°08'45" | N24°21'52"W | 24.69' |
| C2 | 15.00' | 080°00'00" | N23°12'31"E | 21.21' |
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| L9 | 18.13' | N89°11'36"E |
| L10 | 21.40' | S89°11'36"W |

BM PT No. 100
 K-IRON ROD W/YELLOW CAP
 N: 10179910.1335
 E: 3102221.4325
 ELEV. 902.48' - 1988 NGVD

PAPE-DAWSON ENGINEERS

7800 SHOAL CREEK BLVD
 SUITE 220 WEST
 AUSTIN, TEXAS 78757
 PHONE: 512.454.8711
 FAX: 512.459.8897

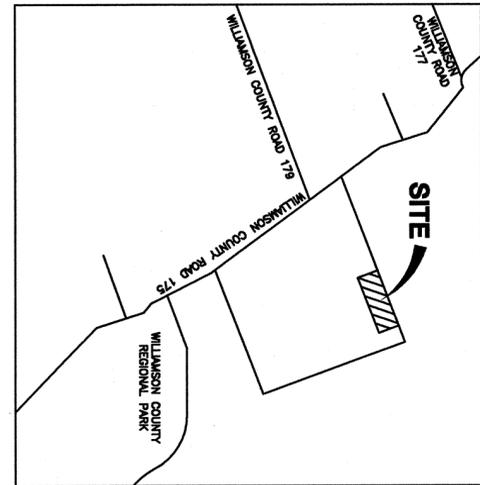
TXS BOARD OF PROFESSIONAL LAND SURVEYORS, FIRM REGISTRATION # 10288-00

SUBMITTED: NOVEMBER 13, 2014

FINAL PLAT
OF

BORHO PHASE 3

A 5,758 ACRES, OR 250,840 SQUARE FEET, MORE OR LESS, TRACT OF LAND BEING A PORTION OF THAT CERTAIN CALLED 105,998 ACRE TRACT OF LAND CONVERTED TO MERRIAGE HOMES OF TEXAS, LLC IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2012102359 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, OUT OF THE ANASTASHA CARR SURVEY, ABSTRACT 122, WILLIAMSON COUNTY, TEXAS.



LOCATION MAP
NOT TO SCALE

FIELD NOTES

FOR
A 5,758 acre, or 250,840 square feet more or less, tract of land being out of a 105,998 acre tract described in conveyance to Marriage Homes of Texas, LLC in a Special Warranty Deed recorded in Document No. 2012102359 of the Official Records of Williamson County, Texas, out of the Anastasha Carr Survey, Abstract 122, Williamson County, Texas. Said 5,758 acre tract being more fully described as follows, with bearings based on the North American Datum of 1983 (NAD 83), from the Texas Coordinate System established for the Central Zone:

BEGINNING: At a found 1/2" iron rod at the southeast corner of Athlete Lane, a called 50-foot right-of-way, the southeast corner, the southwest corner of Lot 1 of the Parkside at Mayfield Ranch, Section 2, recorded in Certain Eas. Slides 4 & 3 of the Public Records of Williamson County, Texas and in the north line of said called 105,998 acre tract for the POINT OF BEGINNING of the herein described tract.

THENCE: Along and with the southwest line of the Parkside at Mayfield Ranch, Section 2 and the north line of said certain 105,998 acre tract the following bearings and distances:

N 68°28'37" E, a distance of 280.08 feet to a found 1/2" iron rod.

N 68°40'19" E, a distance of 29.89 feet passing a found iron rod w/cap marked "R.J. Surveying," N 21°19'41" W, a distance of 0.21 feet, in all 569.11 feet to a set 1/2" iron rod with a yellow cap marked "Page-Dawson";

THENCE: Departing the north line of said called 105,998 acre tract, over and across said 105,998 acre tract the following bearings and distances:

S 20°48'24" E, a distance of 129.06 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

S 21°10'20" E, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

S 20°48'24" E, a distance of 120.00 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

S 69°11'36" W, a distance of 381.40 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

S 68°12'31" W, a distance of 461.89 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

Northwesterly along a tangent curve to the right, said curve having radius of 275.00 feet, a central angle of 05°08'48", a chord bearing and distance of N 24°21'52" W, 24.69 feet, an arc length of 24.70 feet to a set 1/2" iron rod with a yellow cap marked "Page-Dawson";

N 21°47'29" W, a distance of 80.34 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

Northwesterly along a tangent curve to the right, said curve having radius of 15.00 feet, a central angle of 90°00'00", a chord bearing and distance of N 23°12'31" E, 21.21 feet, an arc length of 23.56 feet to a set 1/2" iron rod with a yellow cap marked "Page-Dawson";

N 21°47'29" W, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap marked "Page-Dawson";

THENCE: N 21°47'29" W, a distance of 113.38 feet to a the POINT OF BEGINNING, and containing 5,758 acres or 250,840 square feet in the City of Leander, Williamson County, Texas, said tract being described in accordance with a survey made on the ground and a survey map prepared by Page-Dawson Engineers, Inc.

OWNER'S CERTIFICATION:

STATE OF TEXAS
COUNTY OF WILLIAMSON

KNOW ALL MEN BY THE PRESENTS:

THAT MERRIAGE HOMES OF TEXAS, L.L.C., BEING THE OWNER OF 105.998 ACRES IN THE ANASTASHA CARR SURVEY, ABSTRACT NO. 122 IN WILLIAMSON COUNTY, TEXAS, CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 2012102359 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS;

DO HEREBY SUBDIVIDE 5.758 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS

BORHO PHASE 3

AND DO HEREBY DEDICATE ALL ADDITIONAL ROW, STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC USE OR WHEN THE SUBDIVIDER HAS MADE PROVISION FOR PERPETUAL MAINTENANCE THEREOF, TO THE INHABITANTS OF THE SUBDIVISION, NO OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS, EXCEPT AS APPROVED BY THE CITY OF LEANDER.

WITNESS MY HAND THIS THE _____ DAY OF _____, 20____, A.D.

MATTHEW SCRIVENER P.E., VICE PRESIDENT
MERRIAGE HOMES OF TEXAS, L.L.C.
8920 BUSINESS PARK DRIVE, SUITE 350
(512) 610-4800

STATE OF TEXAS

COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MATTHEW SCRIVENER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE _____ DAY OF _____, 20____, A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME _____ MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATION:

I, VALERIE ZURCHER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT CONFORMS WITH APPLICABLE ORDINANCES OF LEANDER, TEXAS AND WILLIAMSON COUNTY, TEXAS. THE BEARINGS FOR THIS PLAT ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (GORS 1996). FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE CENTRAL ZONE, ALL EASEMENTS OF RECORD ARE SHOWN OR NOTED ON THE SUBDIVISION PLAT AS FOUND IN THE TITLE COMMITMENT PREPARED BY GRACY, TITLE, A STEWART COMPANY, AUSTIN, TEXAS, FILE NO. 1203710, EFFECTIVE DATE OF MARCH 21, 2012 AND DEPICTS THE ITEMS CONTAINED IN SAID TITLE COMMITMENT, TOGETHER WITH ABSTRACTOR'S REPORT: AR NO. AR1359, FEBRUARY 19, 2014 TOGETHER WITH ABSTRACTOR'S REPORT: AR NO. AR 1359, FEBRUARY 19, 2014.

VALERIE ZURCHER R.P.L.S. 6222

SURVEYING BY:
PAPE-DAWSON ENGINEERS, INC.
7800 SHOAL CREEK BLVD., SUITE 220 WEST
AUSTIN, TEXAS 78757
(512) 454-8711



ENGINEER'S CERTIFICATION:

I, JAMES A. HUFFCUTT, JR., P.E., DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF LEANDER, TEXAS.

NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 4849100490E, DATED SEPTEMBER 26, 2008, FOR WILLIAMSON COUNTY, TEXAS AND INCORPORATED.

JAMES A. HUFFCUTT, JR., P.E. 58253

ENGINEERING BY:
PAPE-DAWSON ENGINEERS, INC.
7800 SHOAL CREEK BLVD., SUITE 220 WEST
AUSTIN, TEXAS 78757
(512) 454-8711
TYPE FIRM REGISTRATION NO. 470

APPROVED THIS THE _____ DAY OF _____, 20____, A.D., AT A PUBLIC MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF LEANDER, TEXAS AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

J. JEFF SEILER, CHAIRMAN
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

ELLEN PIZALITE, SECRETARY
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

PLAT NOTES:

- BUILDING SETBACKS NOT SHOWN HEREON SHALL COMPLY WITH THE MOST CURRENT ZONING ORDINANCE OF THE CITY OF LEANDER. ADDITIONAL RESIDENTIAL GARAGE SETBACKS MAY BE REQUIRED AS LISTED IN THE CURRENT ZONING ORDINANCE.
- THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF LEANDER. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLACING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF LEANDER WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- ALL WATER AND WASTEWATER SERVICE TO BE PROVIDED BY THE CITY OF LEANDER. WASTEWATER SERVICE SHALL BE PURSUANT TO THE DEVELOPMENT AGREEMENT.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THE PLAT VACATION OR REPLACING MAY BE REQUIRED AT THE OWNER'S SOLE EXPENSE, IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT.
- PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY CITY OF LEANDER.
- ALL EASEMENTS ON PRIVATE PROPERTY AND AMENITY, H.O.A., DRAINAGE AND DETENTION LOTS/EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS. THE HOMEOWNERS ASSOCIATION WILL MAINTAIN ALL LANDSCAPE LOTS.
- IN ADDITION TO THE EASEMENTS SHOWN HEREON, A TEN (10) FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG AND ADJACENT TO ALL RIGHT-OF-WAY AND A 2.5 (FT) PUBLIC UTILITY EASEMENT ALONG ALL SIDE LOT LINES.
- NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 4849100490E, DATED SEPTEMBER 26, 2008, FOR WILLIAMSON COUNTY, TEXAS AND INCORPORATED AREAS.
- TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED AS REQUIRED FOR OFF-SITE WATER, WASTEWATER AND DRAINAGE IMPROVEMENTS.
- NO DRAINWAY SHALL BE CONSTRUCTED CLOSER THAN 50' OR 60% OF PARCEL FRONTAGE, WHICHEVER IS LESS, TO THE ROW OF AN INTERSECTING LOCAL OR COLLECTOR STREET OR 100' OR 60% OF PARCEL FRONTAGE, WHICHEVER IS LESS, TO THE ROW OF AN INTERSECTING ARTERIAL STREET.
- THIS SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE. DEVELOPMENT OF THIS SITE WILL COMPLY WITH ALL APPLICABLE TCEQ EDWARDS AQUIFER RULES.
- SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS IN THIS SUBDIVISION. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT (INCLUDING SIDEWALKS ALONG STREET FRONTAGES OF LOTS PROPOSED FOR SCHOOLS, CHURCHES, PARK LOTS, DETENTION LOTS, DRAINAGE LOTS, LANDSCAPE LOTS, OR SIMILAR LOTS), SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED, SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
- PARKLAND TO BE IN ACCORDANCE WITH THE DEVELOPMENT AGREEMENT.

**FINAL PLAT
OF
BORHO PHASE 3**

A 5.758 ACRES, OR 250,840 SQUARE FEET, MORE OR LESS, TRACT OF LAND BEING A PORTION OF THAT CERTAIN CALLED 105.998 ACRE TRACT OF LAND CONVEYED TO MERRIAGE HOMES OF TEXAS, L.L.C. IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2012102359 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, OUT OF THE ANASTASHA CARR SURVEY, ABSTRACT 122, WILLIAMSON COUNTY, TEXAS.

- THE REQUIRED PARKLAND FEES AND IMPROVEMENTS CALCULATED FROM THE PARKLAND DEDICATION ORDINANCE DEDICATION WORKSHEET ARE \$23,100 AND \$9,800 RESPECTIVELY.
- NO OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS, EXCEPT AS APPROVED BY THE CITY OF LEANDER.
- BORHO PHASE 3 IS LOCATED IN THE BRUSHY CREEK WATERSHED.
- THE HOMEOWNERS ASSOCIATION IS REQUIRED TO MOW THE OPEN CHANNELS, DETENTION AND WATER QUALITY AREAS.
- ALL UTILITY LINES WITHIN THE SUBDIVISION ARE REQUIRED TO BE UNDERGROUND.
- A MINIMUM OF A 4-FT. WIDE PUBLIC SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF TRINITY WOODS STREET.
- HOMEOWNERS ASSOCIATED FILED WITH THE SECRETARY OF STATE UNDER FILE NO. 801863399.

STATE OF TEXAS
COUNTY OF WILLIAMSON

I, NANCY E. RISTER, CLERK OF COUNTY COURT, WITH AND FOR THE COUNT AND STATE FORESAID, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, AND ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THE DAY OF _____, 20____, AD, AT _____ O'CLOCK _____ M., AND DULY RECORDED THIS THE DAY OF _____, 20____, AD, AT _____ O'CLOCK _____ M., IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY, IN DOCUMENT NUMBER _____, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS, THE LAST DATE WRITTEN ABOVE.

BY: _____
NANCY E. RISTER
CLERK, COUNTY COURT
WILLIAMSON COUNTY, TEXAS

SUBMITTED: NOVEMBER 13, 2014



7800 SHOAL CREEK BLVD
SUITE 220 WEST
AUSTIN, TEXAS 78757
PHONE: 512.454.8711
FAX: 512.459.8857
TXAS BOARD OF PROFESSIONAL LAND SURVEYORS, FIRM REGISTRATION # 10028-00



EXECUTIVE SUMMARY

DECEMBER 11, 2014

-
- Agenda Subject:** Subdivision Case 14-PP-013: Consider action on the Parkway Crossing Preliminary Plat for 27.623 acres more or less; WCAD Parcel #R497326; generally located 800 feet from the northeast corner of the intersection of Hwy 183A and E. Crystal Falls Pkwy; Williamson County, Texas.
- Background:** This request is the second step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the preliminary plat satisfies the applicable regulations without requesting any variances.
- Origination:** Applicant/Agent: Brian J. Parker on behalf of Crystal Falls LTD
- Financial Consideration:** None
- Recommendation:** Staff recommends approval of the preliminary plat. This preliminary plat includes 2 multi-family lots. This proposal meets all of the requirements of the Subdivision Ordinance.
- Motion:** The Planning & Zoning Commission recommends approval of the preliminary plat for the subject property.
- Attachments:** 1. Preliminary Plat
- Prepared By:** Martin Siwek
Planner, AICP, GISP
- 12/1/2014

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

OWNER: CRYSTAL FALLS, LTD.
12750 MERIT DRIVE, STE 1175
DALLAS, TEXAS 75251

SURVEY: ELIJAH D. HARMON SURVEY, ABSTRACT NO. 6

SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC.
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TX 78216
(512) 541-9166

ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD
BUILDING IV, SUITE 300
AUSTIN, TX 78759
(512) 418-1771

PRELIMINARY PLAT FOR

PARKWAY CROSSING

CITY OF LEANDER, WILLIAMSON COUNTY, TEXAS CITY PROJECT NO. 14 - PP - 013

| REVISIONS | | REVISE (R) DELETE (D) ADD (A) | TOTAL SHEETS IN PLAN SET | NET CHANGE IMPERV. COVER | SITE IMPERV. COVER | % IMP. COVER | APPROVAL DATE |
|-------------|-------------|-------------------------------------|-----------------------------------|-----------------------------------|--------------------------|--------------------|------------------|
| No. | DESCRIPTION | | | | | | |
| | | | | | | | |
| CORRECTIONS | | REVISE (R) DELETE (D) ADD (A) | TOTAL SHEETS IN PLAN SET | NET CHANGE IMPERV. COVER | SITE IMPERV. COVER | % IMP. COVER | APPROVAL DATE |
| No. | DESCRIPTION | | | | | | |
| | | | | | | | |

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|-----------------------------|
| 01 | COVER SHEET |
| 02 | PRELIMINARY PLAT |
| 03 | UTILITY SCHEMATIC |
| 04 | EXISTING DRAINAGE AREA MAPS |
| 05 | PROPOSED DRAINAGE AREA MAPS |
| 06 | TREE PROTECTION PLAN |

LAND USE: TOTAL ACRES 27.623 ACRES
TOTAL NO. OF BLOCKS 1
TOTAL NO. OF LOTS 2

| LAND USE TABLE | ACRES |
|----------------|-------------|
| MF | 27.62 ACRES |

| PHASE No. | DWELLING UNITS | ACRES | TRIPS | ANTICIPATED TIMING |
|-----------|----------------|-------|-------|--------------------|
| 1 | 242 | 15.52 | 1,596 | 2015-2016 |
| 2 | 238 | 12.10 | 1,570 | 2016-2017 |
| TOTAL | 480 | 27.62 | 3,166 | |

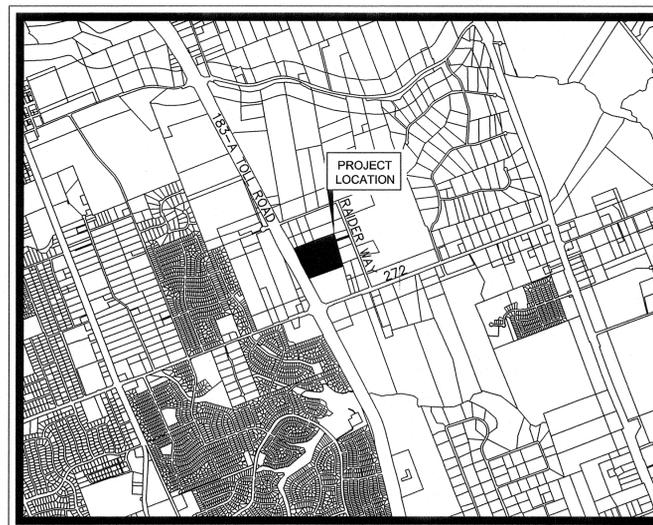
PARKLAND DEDICATION WORKSHEET

| PHASE No. | DWELLING UNITS | PARKLAND REQUIRED | PARKLAND PROPOSED | STEEP SLOPE ACRES | FLOODPLAIN ACRES | PARKLAND CREDITS | PARLAND FEE - IN-LIEU VALUE ** | REC. IMP. FEE REQUIRED *** |
|-----------|----------------|-------------------|-------------------|-------------------|------------------|------------------|--------------------------------|----------------------------|
| 1* | 242 | 8.47 | 0 | 0 | 0 | 0 | \$ (199,650.00) | \$ 84,700.00 |
| 2* | 238 | 8.33 | 0 | 0 | 0 | 0 | \$ (196,350.00) | \$ 83,300.00 |
| TOTAL | 480 | 16.8 | 0 | 0 | 0 | 0 | \$ (396,000.00) | \$ 168,000.00 |

* MULTI-FAMILY UNITS
** FEE-IN-LIEU VALUE FOR PARKLAND DEFICIT TO BE PAID TO THE CITY AT SITE DEVELOPMENT (\$396,000)
*** RECREATION IMPROVEMENT FEES TO BE USED TO CONSTRUCT THE PROPOSED FACILITIES. EXPENDITURE VERIFICATION REQUIRED PRIOR TO CITY ACCEPTANCE.

CONCEPT PLAN TABLE

| |
|--------------------------------|
| LAND USE - MULTI FAMILY |
| LOTS - 2 |
| OVERALL ACRES - 27.62 ACRES |
| DENSITY 17.4 MF UNITS PER ACRE |



VICINITY MAP
N.T.S.

- NOTES:
- AT THE TIME OF SITE DEVELOPMENT PERMIT, UNLESS A NEW TRAFFIC ANALYSIS FOR THE DEVELOPMENT AS PROPOSED IN THE CONCEPT PLAN INDICATES THAT AVERAGE DAILY TRIPS ARE ESTABLISHED BELOW 2,000, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY IN THE AMOUNT OF \$126 PER PEAK HOUR TRIP PROJECTED TO BE GENERATED BY THE DEVELOPMENT
 - EXISTING ZONING = MF-2-B.
 - NO OBSTRUCTIONS SHALL BE ALLOWED WITHIN DRAINAGE EASEMENT.
 - THERE ARE NO FLOOD HAZARD AREAS IN THE PLANNED AREA AS SHOWN ON FIRM MAP 48491C0455F, DATED SEPTEMBER 26, 2008
 - THE SITE LIES WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
 - A SECONDARY EMERGENCY ACCESS SHALL BE PROVIDED FOR PHASE 1 AS REQUIRED BY THE FIRE DEPARTMENT, IN THE EVENT THE PROPOSED ACCESS POINT ONTO RAIDER WAY IS NOT FEASIBLE, ANOTHER ACCESS POINT MEETING ALL CRITERIA REQUIRED BY THE FIRE DEPARTMENT MUST BE PROVIDED AND MAY BE RESOLVED AT THE TIME OF SITE DEVELOPMENT PERMIT REVIEW.

OCTOBER 2014

1ST SUBMITTAL - SEPTEMBER 15, 2014

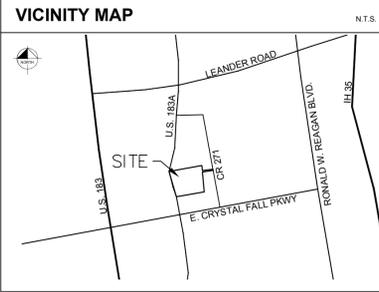
2ND SUBMITTAL - OCTOBER 13, 2014



PREPARED BY:
Kimley»Horn

10814 JOLLYVILLE RD, AVALLON IV, SUITE 300
AUSTIN, TEXAS 78759
CERTIFICATE OF REGISTRATION #928

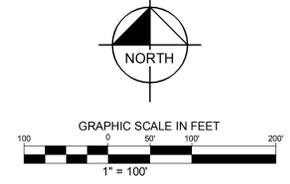
Tel. No. (512) 418-1771
Fax No. (512) 418-1791



BENCH MARK LIST

TBM #1 - CHISELED SQUARE ON TOP OF CURB, NORTH SIDE OF RAIDER WAY, NORTH SIDE OF DRIVE WAY, OF THE SOUTH ENTRANCE TO ROUSE H.S. ELEVATION = 970.97 FEET. (AS SHOWN)
 N = 10,181,219.25
 E = 3,087,297.28

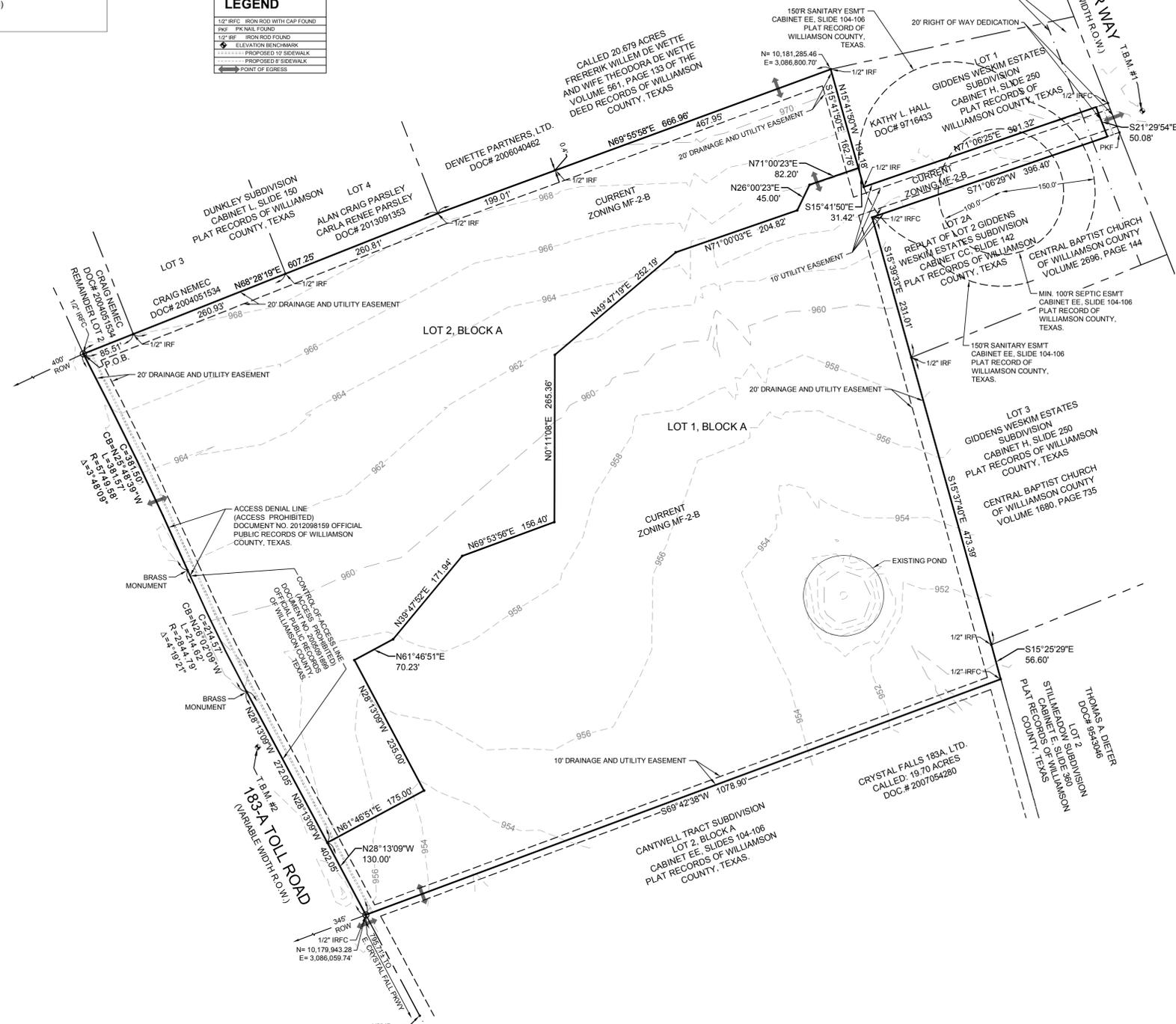
TBM #2 - CHISELED SQUARE ON TOP OF LIGHT POLE BASE, LOCATED ON THE EAST SIDE OF 183A, SECOND LIGHT POLE NORTH OF THE SOUTHWEST CORNER OF LOT 1, ELEVATION = 957.99 FEET. (AS SHOWN)
 N = 10,180,209.66
 E = 3,085,887.40



LEGEND

- 1/2" IRFC IRON ROD WITH CAP FOUND
- 2" PK NAIL FOUND
- 1/2" IRFC IRON ROD FOUND
- ELEVATION BENCHMARK
- PROPOSED SIDEWALK
- PROPOSED EASEMENT
- POINT OF EGRESS

- NOTES:**
- THIS SUBDIVISION IS WHOLLY CONTAINED WITHIN THE CURRENT CORPORATE LIMITS OF THE CITY OF LEANDER, TEXAS.
 - CONSTRUCTION OF IMPROVEMENTS WITHIN THIS SUBDIVISION SHALL NOT COMMENCE UNTIL ALL APPLICABLE PERMITS AND/OR CONSTRUCTION PLANS HAVE BEEN APPROVED BY THE CITY OF LEANDER, TEXAS. ALL IMPROVEMENTS SHALL CONFORM TO APPLICABLE CITY STANDARDS AND SPECIFICATIONS.
 - BUILDING SETBACKS NOT SHOWN HEREON SHALL COMPLY WITH THE MOST CURRENT ZONING ORDINANCE OF THE CITY OF LEANDER.
 - NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS OF THE CITY OF LEANDER, TEXAS.
 - SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS AND THE SUBDIVISION SIDE OF ALL STREETS. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT (INCLUDING SIDEWALKS ALONG STREET FRONTS OF LOTS PROPOSED FOR SCHOOLS, CHURCHES, PARK LOTS, DETENTION LOTS, DRAINAGE LOTS, LANDSCAPE LOTS, OR SIMILAR LOTS), SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED, SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
 - AT THE TIME OF SITE DEVELOPMENT PERMIT, UNLESS A NEW TRAFFIC ANALYSIS FOR THE DEVELOPMENT AS PROPOSED IN THE CONCEPT PLAN INDICATES THAT AVERAGE DAILY TRIPS ARE ESTIMATED BELOW 2,000, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY PER PEAK HOUR TRIP PROJECTED TO BE GENERATED BY THE DEVELOPMENT.
 - ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER SUCCESSORS AND ASSIGNS.
 - THE GRID COORDINATE VALUES AND BEARINGS CITED HEREON ARE REFERENCED TO TEXAS STATE PLANE COORDINATE SYSTEM CENTRAL ZONE, NAD83; COMBINED SCALE FACTOR (CSF) OF 0.999870017; ELEVATIONS REFERENCED TO NAVD88; DISTANCES CITED HEREON ARE SURFACE VALUES; GRID DISTANCES MAY BE OBTAINED BY APPLYING THE COMBINED SCALE FACTOR TO THE SURFACE VALUES.
 - THIS PLAT IS SUBJECT TO THE TERMS, CONDITIONS, AND STIPULATIONS DESCRIBED IN INSTRUMENTS RECORDED IN DOCUMENT NUMBERS 2005091899, AND 2012098159 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS.
 - THIS PLAT IS SUBJECT TO THE RESTRICTIVE COVENANTS DESCRIBED IN INSTRUMENTS RECORDED IN CABINET EE, SLIDES 104-106 AND CABINET H, SLIDES 250-252 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS.
 - ALL PROPERTY CORNERS SHALL BE SET AT THE END OF CONSTRUCTION.
 - EDWARD'S CONTRIBUTING ZONE REPORT PROVIDED TO TCEC.
 - OBSTRUCTION IN DRAINAGE EASEMENTS ARE PROHIBITED.
 - AT THE TIME OF SITE DEVELOPMENT PERMIT, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY PER RESIDENTIAL UNIT.
 - THERE ARE NO FLOOD HAZARD AREAS IN THE PLANED AREA AS SHOWN ON FIRM MAP NO. 4849100455 E, DATED SEPTEMBER 26, 2008.
 - ROADWAY ADEQUACY FEES, TRAFFIC IMPACT FEES, AND PARKLAND DEDICATION AND RECREATION FEES WILL BE DUE PRIOR TO SITE DEVELOPMENT PERMIT.



PRELIMINARY PLAT
 REPLAT OF
**PARKWAY CROSSING
 SUBDIVISION**
 27.623 ACRES OF LAND LOCATED IN THE ELIJAH D. HARMON SURVEY,
 ABSTRACT NO. 6, WILLIAMSON COUNTY, TEXAS.
 JUNE 20, 2014

27.623 ACRES OF LAND LOCATED IN THE ELIJAH D. HARMON SURVEY, ABSTRACT NO. 6, CITY OF LEANDER, WILLIAMSON COUNTY, TEXAS, AND BEING ALL OF LOT 1, BLOCK A, CANTWELL TRACT SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET EE, SLIDES 104-106, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS AND FURTHER BEING THAT SAME TRACT OF LAND CONVEYED TO VILLAGES OF CRYSTAL FALLS, L.P. AS RECORDED UNDER DOCUMENT NUMBER 2007059129, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 27.623 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A FOUND 1/2 INCH IRON ROD WITH CAP LOCATED IN THE EASTERLY LINE OF U.S. HIGHWAY 183-A (US 183-A) AND MARKING THE SOUTHWESTERLY CORNER OF THE REMAINDER OF LOT 2 OF THE DUNKLEY SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET L, SLIDE 150, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS;

THENCE, NORTH 68DEG 28'19"EAST, LEAVING EASTERLY LINE OF US 183-A, ALONG THE COMMON LINE BETWEEN THIS TRACT AND THE SAID DUNKLEY SUBDIVISION, AT A DISTANCE OF 85.51 FEET, PASSING A FOUND 1/2 INCH IRON ROD, MARKING THE SOUTHWESTERLY CORNER OF LOT 3 OF SAID DUNKLEY SUBDIVISION, AT A DISTANCE OF 346.44 FEET, PASSING A FOUND 1/2 INCH IRON ROD MARKING THE SOUTHWESTERLY CORNER OF LOT 4 OF SAID DUNKLEY SUBDIVISION, A TOTAL DISTANCE OF 607.25 FEET TO A FOUND 1/2 INCH IRON ROD MARKING THE SOUTHWESTERLY CORNER OF THAT CERTAIN 20.679 ACRE TRACT AS DESCRIBED IN A DEED TO FREDERIK WILLEM DE WETTE AND WIFE THEODORA DE WETTE AS RECORDED IN VOLUME 561, PAGE 133 OF THE DEED RECORDS OF WILLIAMSON COUNTY, TEXAS;

THENCE, NORTH 68DEG 55'58"EAST, ALONG THE SOUTHERLY LINE OF SAID 20.679 ACRE TRACT, A DISTANCE OF 666.96 FEET, TO A FOUND 1/2 INCH IRON ROD MARKING THE NORTHWESTERLY CORNER OF LOT 2 OF THE GIDDENS WESKIM ESTATES SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET H, SLIDE 250, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS;

THENCE, ALONG THE COMMON LINE BETWEEN THIS TRACT AND SAID LOT 1, THE FOLLOWING COURSES:

SOUTH 15DEG 41'50"EAST, A DISTANCE OF 194.18 FEET, TO A FOUND 1/2 INCH IRON ROD;

NORTH71DEG 06'25"EAST, A DISTANCE OF 411.33 FEET, TO A FOUND 1/2 INCH IRON ROD WITH CAP IN THE WESTERLY LINE OF COUNTY ROAD 271;

THENCE, SOUTH 21DEG 29'57"EAST, ALONG THE WESTERLY LINE OF COUNTY ROAD 271, A DISTANCE OF 50.08 FEET, TO A P.K. NAIL FOUND MARKING THE NORTHEASTERLY CORNER OF LOT 2A, GIDDENS WESKIM ESTATES LOT 2, REPLAT, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET CC, SLIDE 142, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS;

THENCE, LEAVING THE WESTERLY LINE OF COUNTY ROAD 271 AND ALONG THE COMMON LINE BETWEEN THIS TRACT AND SAID LOT 2A, THE FOLLOWING COURSES:

SOUTH 71DEG 06'29"WEST, A DISTANCE OF 416.42 FEET, TO A FOUND 1/2 INCH IRON ROD WITH CAP;

SOUTH 15DEG 39'33"EAST, A DISTANCE OF 231.01 FEET, TO A FOUND 1/2 INCH IRON ROD, MARKING THE SOUTHWESTERLY CORNER OF SAID LOT 2A, SAME BEING THE NORTHWESTERLY CORNER OF LOT 3 OF THE AFOREMENTIONED GIDDENS WESKIM ESTATES SUBDIVISION;

THENCE, SOUTH 15DEG 37'40"EAST, ALONG THE WESTERLY LINE OF SAID LOT 3, A DISTANCE OF 473.39 FEET, TO A FOUND 1/2 INCH IRON ROD, MARKING THE SOUTHWESTERLY CORNER OF SAID LOT 3, AND THE NORTHWESTERLY CORNER OF LOT 2, OF THE STILLMEADOW SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET E, SLIDE 360, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS;

THENCE, SOUTH 15DEG 25'29"EAST, ALONG THE WESTERLY LINE OF SAID LOT 2, A DISTANCE OF 56.60 FEET, TO A FOUND 1/2 INCH IRON ROD WITH CAP MARKING THE SOUTHEASTERLY CORNER OF THE AFOREMENTIONED, LOT 1, BLOCK A, CANTWELL TRACT SUBDIVISION; SAME BEING THE NORTHEASTERLY CORNER OF LOT 2, BLOCK A OF SAID CANTWELL TRACT SUBDIVISION;

THENCE, SOUTH 69DEG 42'38"WEST, ALONG THE COMMON LINE BETWEEN SAID LOT 1 AND LOT 2, BLOCK A, A DISTANCE OF 1078.90 FEET, TO A FOUND 1/2 INCH IRON ROD WITH CAP LOCATED IN THE EASTERLY LINE OF SAID US 183-A;

THENCE, ALONG THE EASTERLY LINE OF SAID US 183-A, THE FOLLOWING COURSES:

NORTH 28DEG 13'09"WEST, A DISTANCE OF 402.05 FEET, TO A BRASS MONUMENT;

NORTHWESTERLY, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2844.79 FEET, A CENTRAL ANGLE OF 04DEG 19'21", AN ARC LENGTH OF 214.62 AND A CHORD BEARING: N 26DEG 02'09"W, 214.57 FEET, TO A BRASS MONUMENT;

NORTHWESTERLY, ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 5749.58 FEET, A CENTRAL ANGLE OF 03DEG 48'09", AN ARC LENGTH OF 381.57 FEET AND A CHORD BEARING: N 25DEG 48'39"W, 381.50 FEET, TO THE POINT OF BEGINNING AND CONTAINING 27.623 ACRES (1,203,272 SQUARE FEET) OF LAND, MORE OR LESS.

ENGINEER CERTIFICATION:

STATE OF TEXAS
 COUNTY OF WILLIAMSON

KNOW ALL MEN BY THESE PRESENTS:

I, BRIAN J. PARKER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND DO HEREBY STATE THAT THIS PLAT CONFORMS WITH THE APPLICABLE ORDINANCES OF THE CITY OF LEANDER, TEXAS, AND THAT NO PORTIONS OF THIS SUBDIVISION ARE LOCATED IN ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOODS AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL NUMBER 4849100455 E, DATED SEPTEMBER 26, 2008, AND THAT EACH LOT CONFORMS TO THE CITY OF LEANDER SUBDIVISION REGULATIONS.

THE FULLY DEVELOPED, CONCENTRATED STORMWATER RUNOFF RESULTING FROM THE ONE HUNDRED (100) YEAR FREQUENCY STORM IS CONTAINED WITHIN THE DRAINAGE EASEMENTS AND/OR PUBLIC RIGHTS-OF-WAY DEDICATED BY THIS PLAT.

TO CERTIFY WHICH, I WITNESS MY HAND AND SEAL THIS THE ____ DAY OF _____, 20__A. D.

BRIAN J. PARKER
 REGISTERED PROFESSIONAL ENGINEER NO. 90248
 STATE OF TEXAS

SURVEYOR CERTIFICATION

STATE OF TEXAS
 COUNTY OF WILLIAMSON

KNOW ALL MEN BY THESE PRESENTS:

I, JAMES W. RUSSELL, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF LEANDER, TEXAS. EASEMENTS OF RECORD AS LISTED ON GRACY TITLE, A STEWART COMPANY, OF NUMBER 01247-24918, WITH AN EFFECTIVE DATE OF MAY 16, 2014, ISSUED: MAY 29, 2014, THAT ARE LOCATED ON THE TRACT ASSOCIATED WITH SAID TITLE COMMITMENT, AND ARE ALSO A PART OF THE TRACT SHOWN HEREON, ARE SHOWN OR NOTED ON THE PLAT. THE PERIMETER FIELD NOTES SHOWN HEREON HAVE A MATHEMATICAL CLOSURE WITHIN THE STANDARDS AS STATED IN THE "PROFESSIONAL LAND SURVEYING ACT" OF THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

TO CERTIFY WHICH, I WITNESS MY HAND AND SEAL THIS THE ____ DAY OF _____, 20__A. D.

JAMES W. RUSSELL
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4230
 STATE OF TEXAS

SURVEY: ELIJAH D. HARMON SURVEY, ABSTRACT NO. 6
 DATE: JUNE 16, 2014
 SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC.
 601 NW LOOP 410, SUITE 350
 SAN ANTONIO, TX 78216
 (510) 541-9166
 ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
 10814 JOLLYVILLE ROAD
 BUILDING IV, SUITE 300
 AUSTIN, TX 78759
 (512) 418-1771

| No. | DATE | REVISION DESCRIPTION |
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| 1 | | |

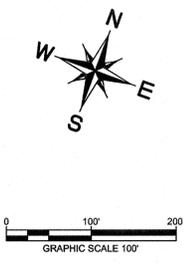
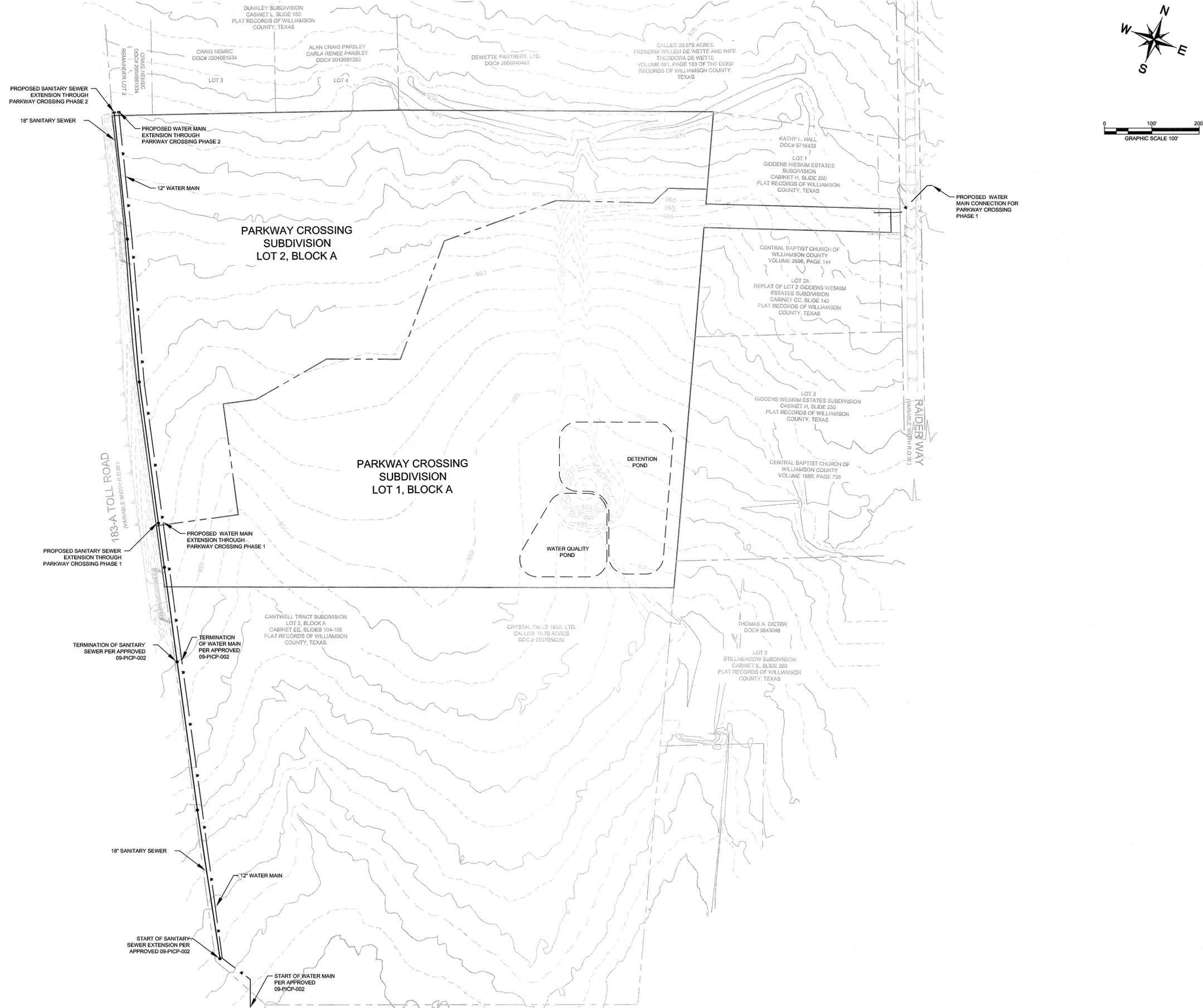
Kimley»Horn

601 NW Loop 410, Suite 350 San Antonio, Texas 78216
 TBPFF# 928 TBPLS# 10193973
 Tel. No. (210) 541-9166 www.kimley-horn.com

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|-----------|----------|------------|------------|-------------|-----------|
| 1" = 100' | MAV | JWR | 06/10/2014 | 068594006 | 2 |

DRAWN BY: K. KAULE, CDT108894006 - PARKWAY CROSSING SUBDIVISION PRELIMINARY PLAT REPLAT OF ELIJAH D. HARMON SURVEY, ABSTRACT NO. 6, WILLIAMSON COUNTY, TEXAS. PLOTTED BY: LENSIE ALISON 11/20/2014 14:52Z MAIL LAST SAVED 11/20/2014 17:56:00

Plotted By: Leung, Allison Date: October 31, 2014 11:22:58am File Path: K:\AUS_Civil\068594006 - Parkway Crossing\Drawings\Exhibits\PlanSheets\Preliminary Plan\UtilitySchematic.dwg
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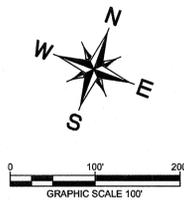
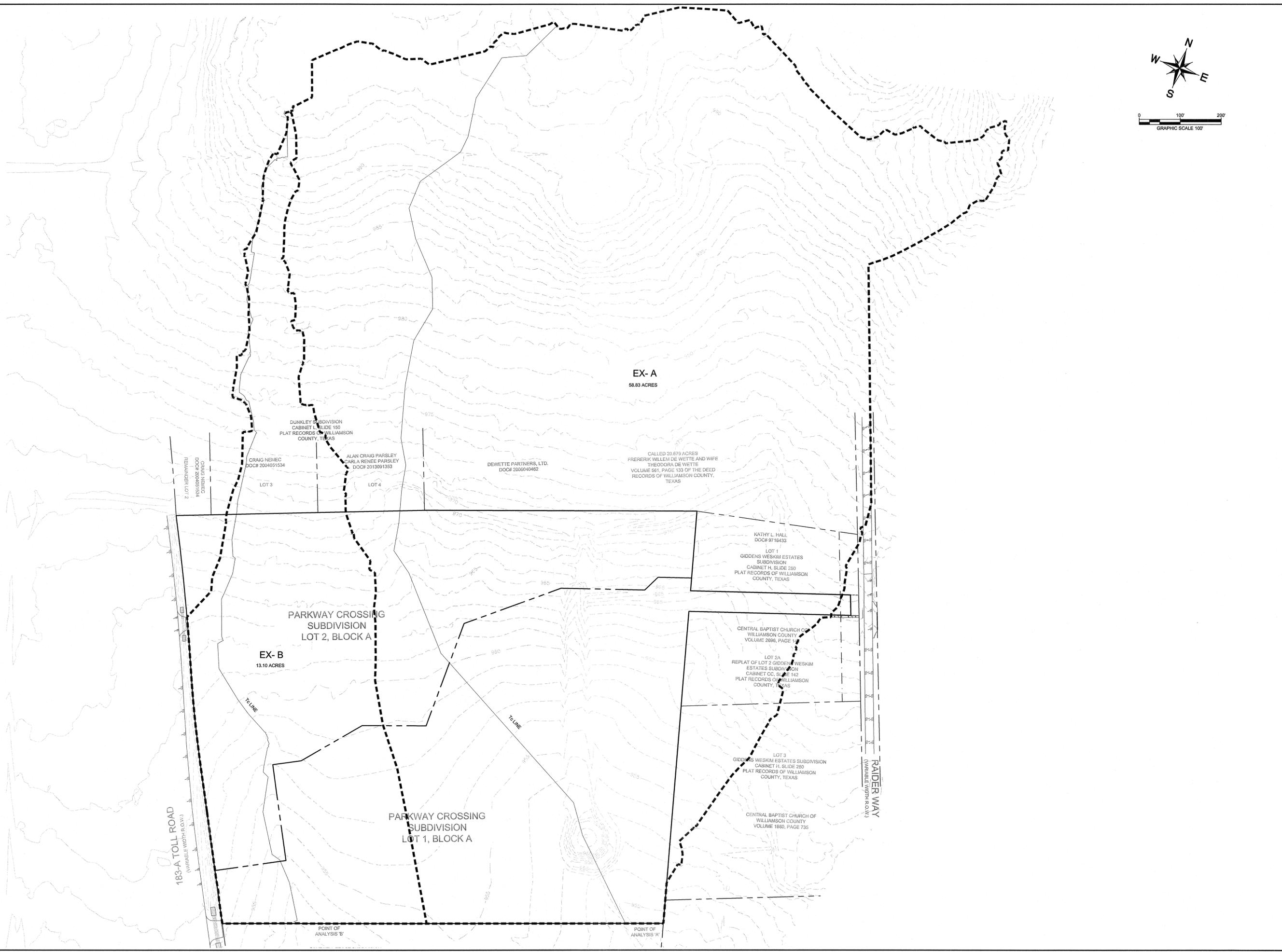


| <p>PARKWAY CROSSING CITY OF LEANDER WILLIAMSON COUNTY, TEXAS</p> | | <p>KHA PROJECT 068594006</p> | | | | | | | | | |
|---|-----------|--|----|-----|-----------|------|----|--|--|--|--|
| | | <p>DATE OCT. 31, 2014</p> | | | | | | | | | |
| <p>UTILITY SCHEMATIC</p> | | <p>SCALE: AS SHOWN</p> | | | | | | | | | |
| | | <p>DESIGNED BY: NIT DRAWN BY: JMW CHECKED BY: JMW</p> | | | | | | | | | |
| <p>SHEET NUMBER 03</p> | | <p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> | | NO. | REVISIONS | DATE | BY | | | | |
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Kimley»Horn
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 PHONE: 512-418-1771 FAX: 512-418-1791
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928



Plotted By: Lenig, Allison Date: October 31, 2014 11:19:56am File Path: K:\AUS_Civil\068594006 - Parkway Crossing\Draw\Exhibits\PlanSheets\Preliminary Plat\Existing Drainage Map.dwg
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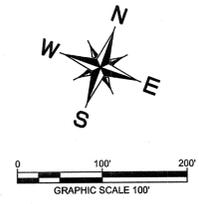
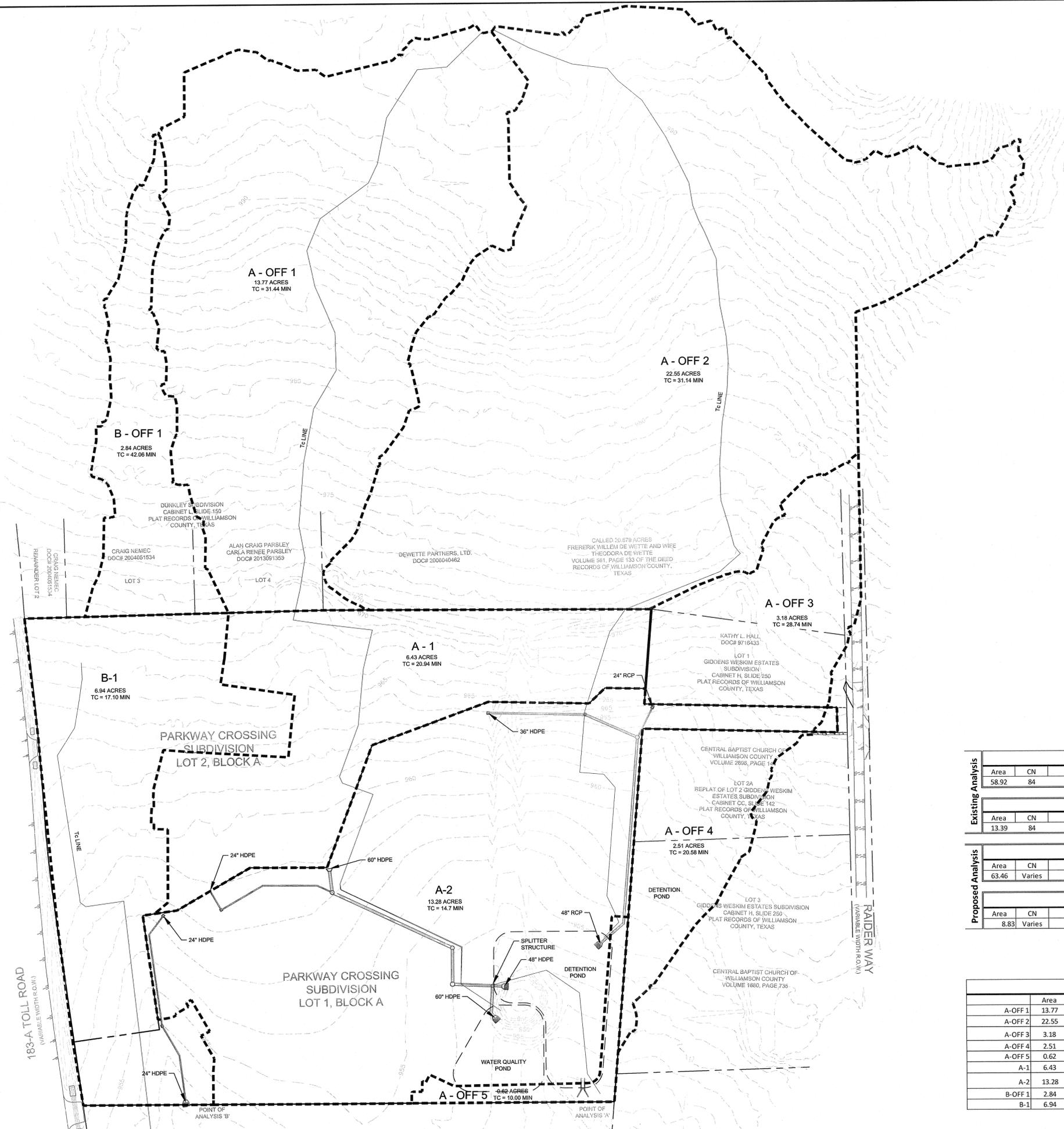


| | | | |
|--|--|--------------------------|--|
| PARKWAY CROSSING CITY OF LEANDER WILLIAMSON COUNTY, TEXAS | | KHA PROJECT 068594006 | |
| | | DATE OCT. 31, 2014 | |
| EXISTING DRAINAGE AREA MAP | | SCALE: AS SHOWN | |
| | | DESIGNED BY: NTF | |
| | | DRAWN BY: XXX | |
| SHEET NUMBER 04 | | CHECKED BY: JMW | |
| | | REVISIONS | |
| No. | | DATE | |

Kimley»Horn
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 10814 JOLLYVILLE ROAD, BUILDING IV, SUITE 300, AUSTIN, TX 78759
 PHONE: 512-418-1771 FAX: 512-418-1791
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 TEXAS REGISTERED ENGINEERING FIRM F-928



Plotted By: Leticia Allison Date: October 31, 2014 11:18:25am File Path: K:\AUS_Civil\068594006 - Parkway Crossing\Drawings\Exhibits\PlanSheets\Preliminary\Proposed Drainage Map.dwg
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| Existing Analysis | | | | | | | |
|---------------------|--------|--------|-----------|------------|------------|-------------|--|
| Point of Analysis A | | | | | | | |
| Area | CN | Tc | 2 Yr Flow | 10 Yr Flow | 25 Yr Flow | 100 Yr Flow | |
| 58.92 | 84 | Varies | 66.7 | 151.68 | 200.13 | 282.99 | |
| Point of Analysis B | | | | | | | |
| Area | CN | Tc | 2 Yr Flow | 10 Yr Flow | 25 Yr Flow | 100 Yr Flow | |
| 13.39 | 84 | Varies | 16.85 | 38.84 | 50.86 | 71.3 | |
| Proposed Analysis | | | | | | | |
| Point of Analysis A | | | | | | | |
| Area | CN | Tc | 2 Yr Flow | 10 Yr Flow | 25 Yr Flow | 100 Yr Flow | |
| 63.46 | Varies | Varies | 66.22 | 146.82 | 199.06 | 282.81 | |
| Point of Analysis B | | | | | | | |
| Area | CN | Tc | 2 Yr Flow | 10 Yr Flow | 25 Yr Flow | 100 Yr Flow | |
| 8.83 | Varies | Varies | 16.5 | 33.07 | 41.98 | 56.5 | |

| Individual Drainage Analysis | | | | | | | |
|------------------------------|-------|----|-------|--------|---------|---------|----------|
| | Area | CN | Tc | 2 Year | 10 Year | 25 Year | 100 Year |
| A-OFF 1 | 13.77 | 84 | 31.44 | 16.56 | 37.75 | 49.65 | 69.95 |
| A-OFF 2 | 22.55 | 84 | 31.14 | 27.21 | 62.04 | 81.58 | 115.08 |
| A-OFF 3 | 3.18 | 84 | 28.74 | 3.96 | 9.03 | 11.87 | 16.7 |
| A-OFF 4 | 2.51 | 84 | 20.58 | 3.61 | 8.29 | 10.8 | 15.14 |
| A-OFF 5 | 0.62 | 84 | 10 | 1.16 | 2.52 | 3.31 | 4.43 |
| A-1 | 6.43 | 92 | 20.94 | 12.3 | 24.18 | 30.42 | 41.1 |
| A-2 | 13.28 | 92 | 14.7 | 29.28 | 56.89 | 71.46 | 93.96 |
| B-OFF 1 | 2.84 | 84 | 42.06 | 2.98 | 6.72 | 8.9 | 12.53 |
| B-1 | 6.94 | 92 | 17.1 | 14.55 | 28.39 | 35.74 | 47.57 |

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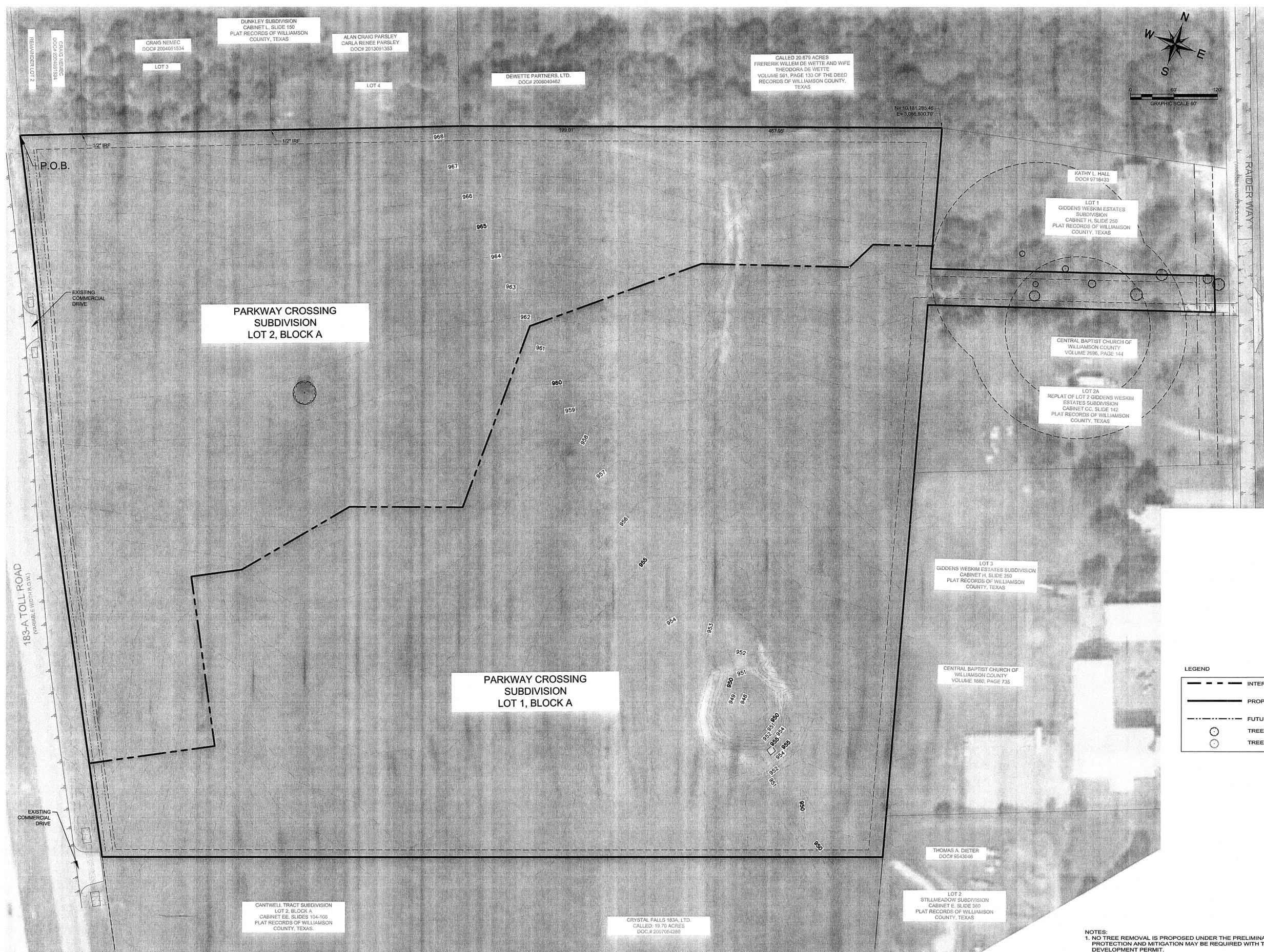
DATE: OCT. 31, 2014
 SCALE: AS SHOWN
 DESIGNED BY: NTF
 DRAWN BY: TMW
 CHECKED BY: JMW

PROPOSED DRAINAGE AREA MAP

PARKWAY CROSSING
 CITY OF LEANDER
 WILLIAMSON COUNTY, TEXAS

SHEET NUMBER
05

Plotted By: Lenig, Allison Date: October 31, 2014 11:13:06am File Path: K:\AUS_Civil\068594006 - Parkway Crossing\Draw\Exhibits\PlanSheets\Preliminary Plat\Draft - Tree Protection.dwg
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LEGEND

- INTERNAL LOT LINE
- PROPERTY LINE
- FUTURE SIDEWALK
- TREE PRESERVED
- TREE REMOVED

NOTES:
 1. NO TREE REMOVAL IS PROPOSED UNDER THE PRELIMINARY PLAT. TREE PROTECTION AND MITIGATION MAY BE REQUIRED WITH THE SITE DEVELOPMENT PERMIT.

| | | | | | |
|--|--|--|-----------|------|----|
| <p>© 2014 KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, BUILDING IV, SUITE 300, AUSTIN, TX 78759 PHONE: 512-418-1771 FAX: 512-418-1791 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928</p> | | No. | REVISIONS | DATE | BY |
| | | | | | |
| | | KHA PROJECT: 068594006 DATE: OCT. 31, 2014 SCALE: AS SHOWN DESIGNED BY: NTF DRAWN BY: GNB CHECKED BY: JMW | | | |
| TREE PROTECTION PLAN | | PARKWAY CROSSING CITY OF LEANDER WILLIAMSON COUNTY, TEXAS | | | |
| SHEET NUMBER 06 | | | | | |



EXECUTIVE SUMMARY

DECEMBER 11, 2014

-
- Agenda Subject:** Subdivision Case 14-TOD-PP-011: Consider action on the Hero Way Multi-Family Preliminary Plat for 9.674 acres more or less; WCAD Parcel R510024; generally located to the northeast of the intersection of Mel Mathis Avenue and Hero Way, Leander, Williamson County Texas.
- Background:** This request is the second step in the subdivision process.
- Origination:** Applicant/Agent: Russell Kotara (Big Red Dog) on behalf of Jeff Musgrove (Transit Village Investments, LTD).
- Financial Consideration:** None
- Recommendation:** This preliminary plat includes 1 multi-family lot and 1 mixed use lot. Staff has reviewed and approved the warrants shown in Attachment 2. With the approved warrants, this proposal meets all of the requirements of the Subdivision Ordinance, the SmartCode, and the PUD. Staff recommends approval of the request.
- Motion:** The Planning & Zoning Commission recommends approval of the preliminary plat for the subject property.
- Attachments:**
1. Preliminary Plat
 2. Warrant Review
 3. Approved PUD
- Prepared By:** Robin M. Griffin, AICP
Senior Planner
- 12/04/2014

RB 270 PARTNERSHIP
PORTION OF 269.836 AC.
(2004036768)

TREE LIST
NOTE: TREE TAGS IN THE FIELD MAY BEGIN WITH "T"

| NO. | DIA. | TYPE (BOLES) |
|-------|------|--------------|-------|------|--------------|-------|------|--------------|-------|------|--------------|
| 25901 | 40 | AMERICAN ELM | 25913 | 10 | LIVEOAK | 25925 | 12 | PECAN | 25937 | 11 | HACKBERRY |
| 25902 | 28 | AMERICAN ELM | 25914 | 11 | AMERICAN ELM | 25926 | 12 | PECAN | 25938 | 15 | AMERICAN ELM |
| 25903 | 15 | HACKBERRY | 25915 | 13 | AMERICAN ELM | 25927 | 11 | AMERICAN ELM | 25939 | 12 | BUMELIA |
| 25904 | 26 | AMERICAN ELM | 25916 | 10 | AMERICAN ELM | 25928 | 17 | AMERICAN ELM | 25940 | 8 | CEDAR |
| 25905 | 17 | AMERICAN ELM | 25917 | 11 | AMERICAN ELM | 25929 | 11 | PECAN | 25941 | 8 | CEDAR |
| 25906 | 24 | AMERICAN ELM | 25918 | 10 | PECAN | 25930 | 8 | AMERICAN ELM | | | |
| 25907 | 12 | PECAN | 25919 | 13 | AMERICAN ELM | 25931 | 10 | LIVEOAK | | | |
| 25908 | 11 | PECAN | 25920 | 10 | AMERICAN ELM | 25932 | 27 | AMERICAN ELM | | | |
| 25909 | 9 | BUMELIA | 25921 | 13 | AMERICAN ELM | 25933 | 10 | AMERICAN ELM | | | |
| 25910 | 22 | AMERICAN ELM | 25922 | 9 | PECAN | 25934 | 13 | AMERICAN ELM | | | |
| 25911 | 15 | AMERICAN ELM | 25923 | 10 | LIVEOAK | 25935 | 8 | HACKBERRY | | | |
| 25912 | 18 | AMERICAN ELM | 25924 | 20 | AMERICAN ELM | 25936 | 8 | HACKBERRY | | | |

A.C.C. DISTRICT
100.000 ACRES
(2010030836)

LENA NAUMANN
SANDERS
PORTION OF 21.0 ACRES
(747/427)

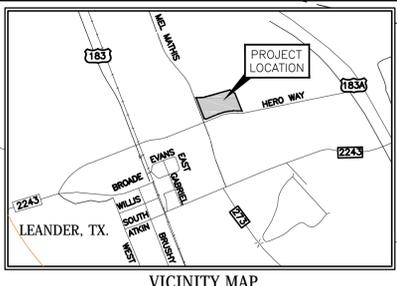
VIRGINIA &
CLAY NAUMANN
8.97 ACRES
(2003009014)

LOT 1
8.912 Ac.

LOT 2
0.761 Ac.

HERO WAY
(R.O.W. WIDTH VARIES)
6.4162 Ac.
R.O.W. WILLIAMSON COUNTY (2009071324)
(45 M.P.H. SPEED LIMIT)

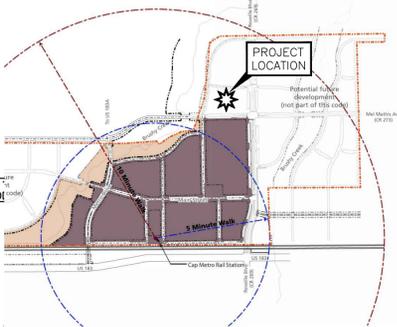
TRANSIT VILLAGE INVESTMENTS, LTD.
PORTION OF 94.24 ACRES
(2006112794)



TRANSIT VILLAGE INVESTMENTS LTD
AW0125 AW0125 - Chambers, T. Sur., ACRES 26.444
(2006112794)

MEL MATHIS AVE.
R.O.W. VARIES- ASPHALT
(45 M.P.H. SPEED LIMIT)

HOUSE MEDICAL CENTER
CONVALESCENT HOME, INCORPORATED
PORTION OF 23.402 ACRES
(1726/941)



PARKLAND NOTES:
1. A FEE IN-LIEU OF PARKLAND DEDICATION IN AMOUNT OF \$185,625 SHOULD BE PAID TO THE CITY PRIOR TO ISSUANCE OF A SITE DEVELOPMENT PERMIT.
2. THE DEVELOPER MAY UTILIZE THE RECREATION IMPROVEMENTS FEE FOR ON-SITE RECREATIONAL IMPROVEMENTS IF ADEQUATE VERIFICATION IS RECEIVED DEMONSTRATING THAT THE COST OF SAID IMPROVEMENTS EQUALS OR EXCEEDS THE REQUIRED FEE OF \$78,750.

- NOTES:
- EXIST. CONDITIONS SURVEY PREPARED BY CHAPARRAL PROFESSIONAL LAND SURVEYING, INC. ON MAY 13, 2013. REVISED AUGUST 19, 2013.
 - ONLY VISIBLE IMPROVEMENTS & UTILITIES WERE PROVIDED FROM SURVEY (THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES). LOCATIONS OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID & CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
 - THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
 - OBSTRUCTIONS ARE PROHIBITED WITHIN DRAINAGE EASEMENTS.
 - SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS IN THE SUBDIVISION AND ON THE SUBDIVISION SIDE OF MEL MATHIS AVE AND HERO WAY. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT (INCLUDING SIDEWALKS ALONG STREET FRONTS OF LOTS PROPOSED FOR SCHOOLS, CHURCHES, PARK LOTS, DETENTION LOTS, DRAINAGE LOTS, LANDSCAPE LOTS, OR SIMILAR LOTS), SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED, SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
 - A STORM WATER ANALYSIS WILL BE PROVIDED TO CONFIRM THAT THE DEVELOPMENT WILL CAUSE NO ADVERSE IMPACT TO THE ADJACENT PROPERTIES.
 - PARKING REQUIREMENTS WILL BE PROVIDED IN CONFORMANCE WITH THE SMARTCODE.
 - DRIVEWAYS WILL CONFORM TO THE LEANDER SMARTCODE.
 - SIGNIFICANT TREES WITHIN THE PROPOSED RIGHT-OF-WAY OF THIS DEVELOPMENT ARE SHOWN HEREON.
 - SIDEWALKS SHALL BE INSTALLED BY THE DEVELOPER AT ALL INTERSECTIONS WITHIN AND ONE SIDE OF ADJACENT STREETS TO BE PROPOSED DEVELOPMENT, AND SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
 - CIVIC SPACE REQUIREMENT WILL BE SATISFIED BY ACQUIRING AN EASEMENT FROM THE NORTHERN ACC PROPERTY LINE AND CONSTRUCTING A TRAIL WITHIN THE EASEMENT THAT WILL EXTEND TO THE TRAIN STATION.

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512.669.5560

ENGINEERING | CONSULTING
RUSSELL W. KOTARA
PROFESSIONAL ENGINEER
2021 E. 5TH ST., #110 (OFFICE) • 815-A BRAZOS ST., #319 (MAIL)
AUSTIN, TEXAS 78702 • TEXAS REG. NO. 11-1101

STATE OF TEXAS
RUSSELL W. KOTARA
PROFESSIONAL ENGINEER

HERO WAY MULTIFAMILY
1680 HERO WAY
LEANDER, WILLIAMSON COUNTY, TEXAS

PRELIMINARY PLAT IMPROVEMENT PLAN

SHEET
CS-100
3 OF 5
CASE #: 14-TOD-PP-011

WARRANTS

Warrant 1 CURRENT PROVISION

- 3.7.2 Civic Space (CS) Specific to T3-T6 Zones
a) Each Project shall assign at least 5% of area to Civic Space, unless joint applicants assign at least 5% total Project Area to Civic Space within a particular Pedestrian Shed.
d) A Civic Space designed and equipped as a playground shall be provided within 800 feet for at least 75% of the residential units within the Pedestrian Shed.
e) Each Civic Space shall have a minimum of 50% of its perimeter fronting a Thoroughfare.

PROPOSED

Civic Space shall be provided through public courtyards along sidewalks along Hero Way and Mel Mathis Ave and the future development of a public parkland and trail system along Brushy Creek to the north of the property. Public parkland and trail system along Brushy Creek shall be designed and equipped for the use of all age groups. As the principal Civic Space provided by the project shall be the future development of a public parkland and trail system along Brushy Creek, Civic Spaces shall not have a minimum perimeter fronting a Thoroughfare requirement.

Warrant 2 CURRENT PROVISIONS

- 5.2.1 General Building Disposition
5.2.2 General Building Configuration
5.2.4 General Parking Standards

- e) Parking shall be located within Lot Layers as described in the Specific Sections 5.4 through 5.7 below, and shown in Table 11, Graphic D.
5.6.1 T5 Building Disposition
b) Facades shall be built parallel to the principal frontage line along a minimum of 70% of its length on the setback shown in Table 19, Subsection G. In the absence of a building along the remainder of the frontage line, a Streetscreen shall be built co-planar with the facade.
c) Buildings shall have their principal pedestrian entrances on a frontage line.

- 5.6.2 T5 Building Configuration
a) In addition to the general specifications of Section 5.2.2, specific building configurations shall be as shown in Table 17, and summarized in Table 19, Subsections H, I & J.
b) A first level residential or lodging function shall be raised a minimum of 2 feet from average sidewalk grade.

- 5.6.4 T5 Parking Standards
b) All parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Linear Building as shown on Table 11, Graphic D.
c) Parking shall be accessed from a rear alley.
e) Pedestrian entrances to all parking lots and parking structures shall be directly from a frontage line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.

- Table 7 - Private Frontages
c) Terrace or Light Court
d) Forecourt
e) Stoop
f) Shopfront and Awning
g) Gallery
h) Arcade

Table 8B - Public Frontage Assemblies

- c) Walkway - Width
T4 & T5 - RS, SS, AV
T5 & T6 - RS, CS, AV, BV
T5 & T6 - CS, AV, BV

- Table 17 - Building Disposition
b) Side Yard
c) Rear Yard
d) Court Yard

Table 19 - Transect Zone Summary

- G. Building Setback
Front - 0 ft. min 12 ft. max
Side - 0 ft. min 24 ft. max
Rear - 3 ft. min

PROPOSED

Site layout, public frontage assemblies, building disposition, building configuration, and parking layout will be guided by the approved PUD site layout, with consideration that Phase I of the project is an internally oriented site layout and Phase II of the project shall more closely follow the intent of SmartCode guidelines. This includes deviations in the number of buildings on site, building disposition, setbacks, private frontage configuration, building heights, and parking locations within lot layers.

Allowable building dispositions shall provide for a project with multiple buildings on a site that are separated by landscape, pedestrian routes, and/or parking areas. Their facades generally run parallel with the frontage and may provide for side yard, rear yard, and/or court yard forms within the site. Allow for increased setback maximums to establish a site layout as approved in the PUD.

Access to parking areas may be via pedestrian sidewalk routes and drives throughout the site. A first level residential or lodging function is not required to be raised from average sidewalk grade. The minimum width of the sidewalk along Hero Way shall be 8'. The minimum width of the sidewalk along Mel Mathis Ave shall be 9'. A pedestrian route shall be provided from the frontage sidewalk towards the interior of the property parallel to the clubhouse facade. This portion of the sidewalk may have a minimum width of 5'. The minimum sidewalk widths shall be 22' wide for Phase II of the project.

Building facades, including garages, will be sited along the perimeter street frontage were justifiable. In the absence of a building along the remainder of the frontage line, a streetscreen and/or a fence will be built. Publicly accessible buildings shall have their principal pedestrian entrance facing a frontage line. Private residential buildings and accessory structures may have their primary entrances accessible off of a private pedestrian route or drive within the property. Carports will not be on street frontage.

Warrant 3 CURRENT PROVISION

- 5.2.4 General Parking Standards
g) Within Zones T4, T5, and T6 a minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.

PROPOSED

A minimum of one bicycle rack place shall be provided within the public frontage, private frontage, exterior buildings corridors, or areas accessible to pedestrians within the property for every ten vehicular parking spaces.

Warrant 4 CURRENT PROVISION

- 5.2.5 General Architectural Standards
b) Streetscreens shall be made of brick, stone, or stucco on block or other material to match the facade of the Principal Building.

Table 21A - Architectural Standards

- A. Materials
Frontage Fences & Walls: Shall be built entirely of wood, metal in a cast-iron style, native/regional stone (or equivalent synthetic), brick, or stucco.

PROPOSED

Streetscreens shall be made of brick, stone, stucco, or metal vegetative screens. As per the definition of Streetscreen, provide for the option to use a hedge or fence as a streetscreen if achieving the same effectiveness as a minimum 3.5 foot wall. Frontage fences and walls shall be built entirely of wood, metal in a cast-iron style, native/regional stone (or equivalent synthetic), brick, stucco, and/or metal vegetative screens.

Warrant 5 CURRENT PROVISION

- 5.2.5 General Architectural Standards
d) All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

PROPOSED

The majority of all openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion. Some windows may be horizontal in proportion to better complement unique conditions presented in a building design. An example would be clerestory windows on the rear facade of the clubhouse.

Warrant 6 CURRENT PROVISION

- 5.2.5 General Architectural Standards
g) Doors and windows that operate as sliders are prohibited along frontages.

Table 21D - Architectural Standards

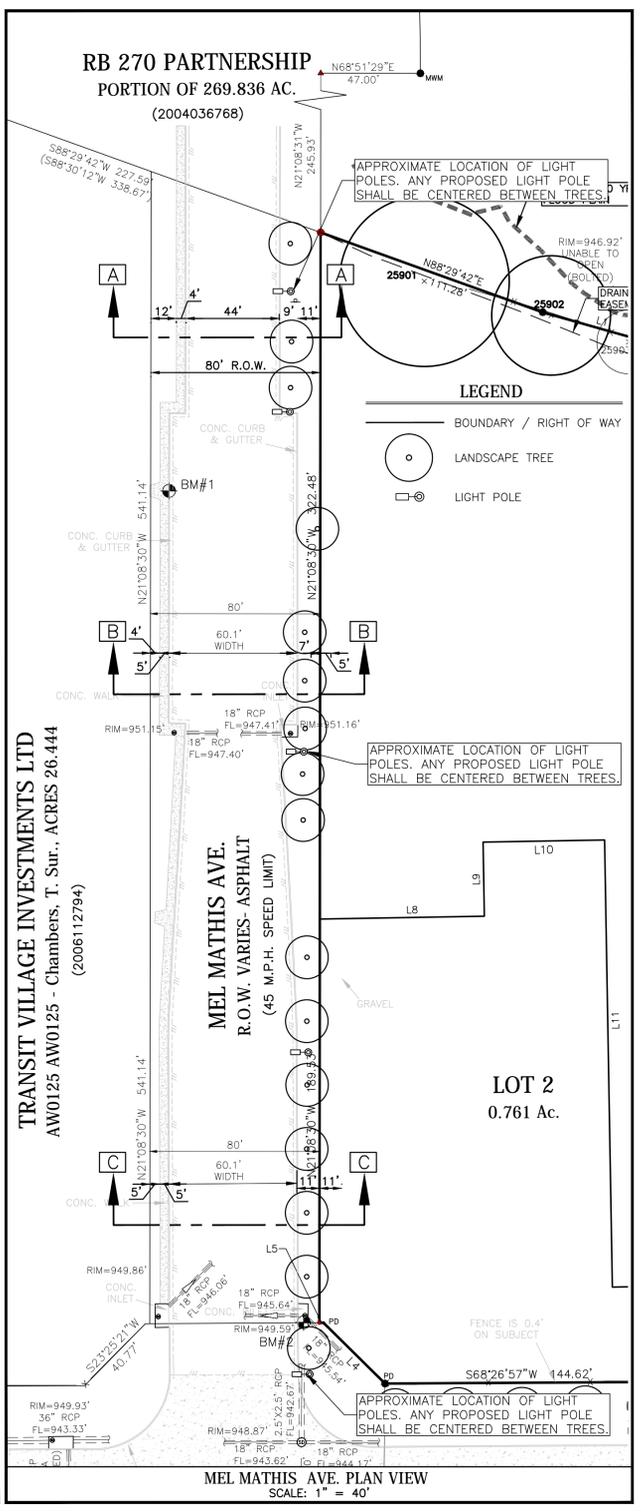
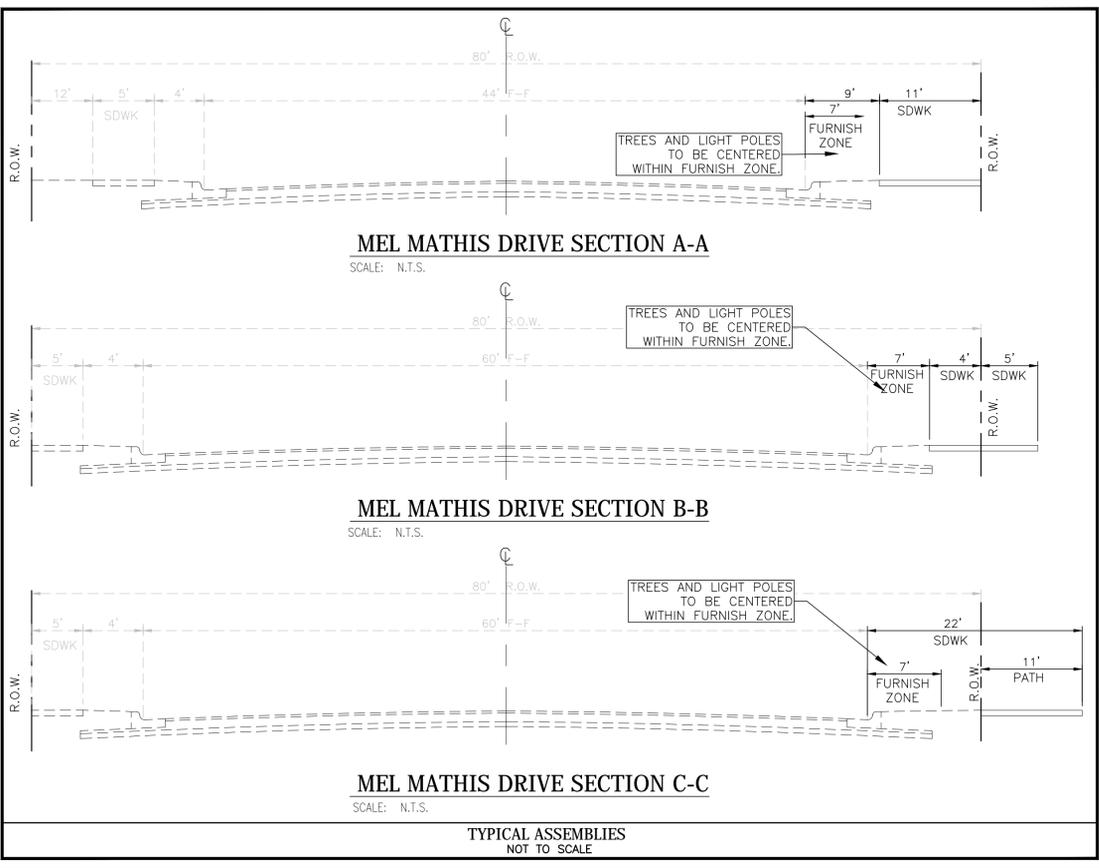
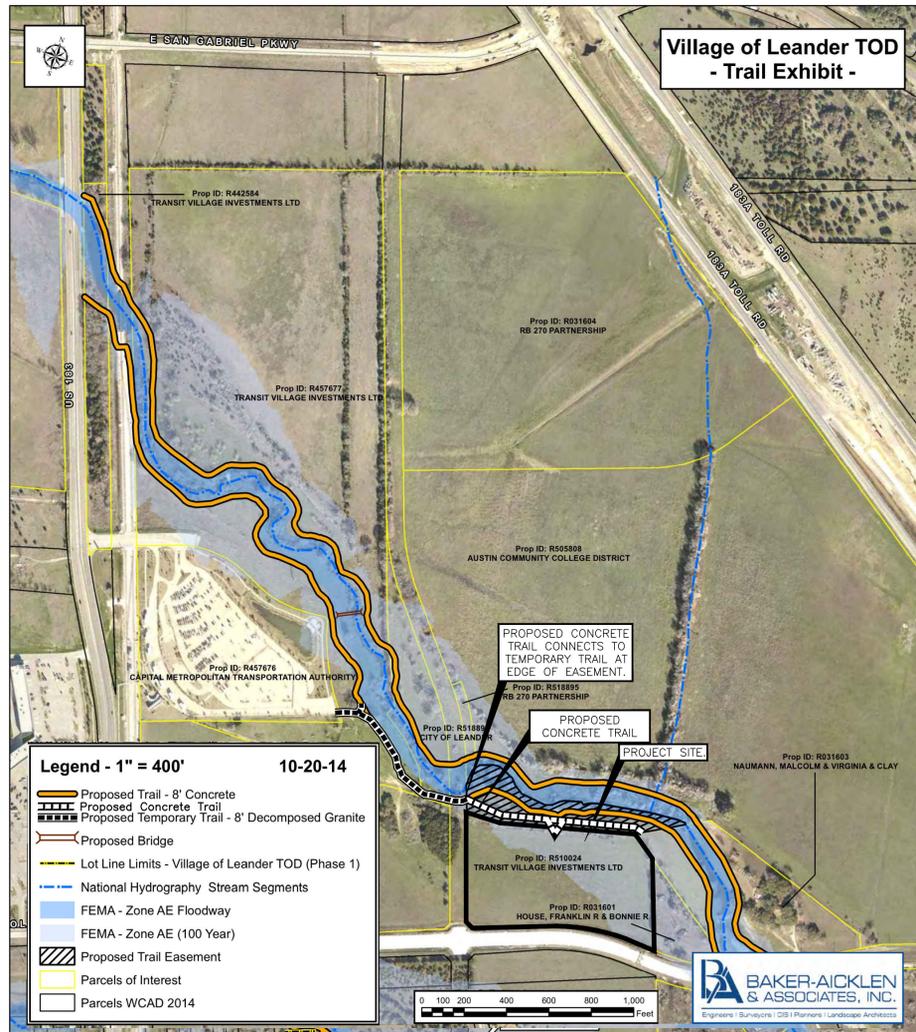
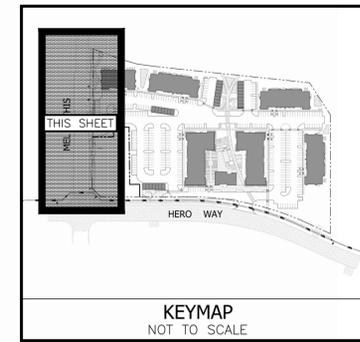
- B. Configurations
Doors: Shall be side-hinged except garage doors, which may be sectional. Sliders shall not be visible from streets, sidewalks, or public spaces. The style of the front door shall match the building style.

PROPOSED

Doors that operate as sliders are allowed for private porch and balcony access. Doors for private porch or balcony access may use sliders which may be visible from streets, sidewalks, and/or public spaces. Exterior balcony/porch sliding doors shall be Spectrum brand, 4100 Series Patio Doors, Model 6068 (or equivalent).

PREVIOUSLY APPROVED PUD REGULATIONS

- 1. Perimeter fencing shall be 6' in height and composed of metal (wrought iron or tubular metal) and may have wood accents.
2. Pitched roofs shall be symmetrically sloped no less than 3:12.
3. Structures shall be constructed of brick, stone, stucco, and/or hard-plank.



Project information including sheet number (CS103), date, revision, and contact information for Baker-Aicklen & Associates, Inc. and Big Red Dog Engineering & Consulting.



WARRANT REQUEST

PRELIMINARY PLAT 14-TOD-PP-011 HERO WAY MULTI-FAMILY

REQUESTED WARRANTS

WARRANT #1

CURRENT PROVISION

3.7.2 Civic Space (CS) Specific to T3-T6 Zones

- a) Each Project shall assign at least 5% of area to Civic Space, unless joint applicants assign at least 5% total Project Area to Civic Space within a particular Pedestrian Shed.
- d) A Civic Space designed and equipped as a playground shall be provided within 800 feet for at least 75% of the residential units within the Pedestrian Shed.
- e) Each Civic Space shall have a minimum of 50% of its perimeter enfronting a Thoroughfare.

PROPOSED

Civic Space shall be provided through public courtyards along sidewalks on Hero Way and Mel Mathis Ave and the future development of a public parkland and trail system along Brushy Creek to the north of the property. Public parkland and trail system along Brushy Creek shall be designed and equipped for the use of all age groups. As the principal Civic Space provided by the project shall be the future development of a public parkland and trail system along Brushy Creek, Civic Spaces shall not have a minimum perimeter enfronting a Thoroughfare requirement.

STAFF RECOMMENDATION

Approval

WARRANT #2

CURRENT PROVISIONS

5.2.1 General Building Disposition

5.2.2 General Building Configuration

5.2.4 General Parking Standards

- e) Parking shall be located within Lot Layers as described in the Specific Sections 5.4 through 5.7 below, and shown in Table 11, Graphic D.

5.6.1 T5 Building Disposition

- b) Facades shall be built parallel to the principal frontage line along a minimum of 70% of its length on the setback shown in Table 19, Subsection G. In the absence of a building along the remainder of the frontage line, a Streetscreen shall be built co-planar with the façade.
 - c) Buildings shall have their principal pedestrian entrances on a frontage line.
- 5.6.2 T5 Building Configuration
- a) In addition to the general specifications of Section 5.2.2, specific building configurations shall be as shown in Table 17, and summarized in Table 19, Subsections H, I & J.
 - b) A first level residential or lodging function shall be raised a minimum of 2 feet from average sidewalk grade.
- 5.6.4 T5 Parking Standards
- b) All parking areas shall be located at the Third Lot Layer and masked by a Streetscreen or Linear Building as shown on Table 11, Graphic D.
 - c) Parking shall be accessed from a rear alley.
 - e) Pedestrian entrances to all parking lots and parking structures shall be directly from a frontage line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.

Table 7 – Private Frontages

- c) Terrace or Light Court
- d) Forecourt
- e) Stoop
- f) Shopfront and Awning
- g) Gallery
- h) Arcade

Table 8B – Public Frontage Assemblies

- c) Walkway – Width
 - T4 & T5 – RS, SS, AV
 - T5 & T6 – RS, CS, AV, BV
 - T5 & T6 – CS, AV, BV

Table 17 – Building Disposition

- b) Side Yard
- c) Rear Yard
- d) Court Yard

Table 19 – Transect Zone Summary

- G. Building Setback
 - Front – 0 ft. min 12 ft. max
 - Side – 0 ft. min 24 ft. max
 - Rear – 3 ft. min

PROPOSED

Site layout, public frontage assemblies, building disposition, building configuration, and parking layout will be guided by the approved PUD site layout, with consideration that

Phase I of the project is an internally oriented site layout and Phase II of the project shall more closely follow the intent of SmartCode guidelines. This includes deviations in the number of buildings on site, building disposition, setbacks, private frontage configuration, building heights, and parking locations within lot layers.

Allowable building dispositions shall provide for a project with multiple buildings on a site that are separated by landscape, pedestrian routes, and/or parking areas. Their facades generally run parallel with the frontage and may provide for side yard, rear yard, and/or court yard forms within the site. Allow for increased setback maximums to establish a site layout as approved in the PUD.

Access to parking areas may be via pedestrian sidewalk routes and drives throughout the site. A first level residential or lodging function is not required to be raised from average sidewalk grade. The minimum width of the sidewalk along Hero Way shall be 8'. The minimum width of the sidewalk along Mel Mathis Ave shall be 9'. A pedestrian route shall be provided from the frontage sidewalk towards the interior of the property parallel to the clubhouse façade. This portion of the sidewalk may have a minimum width of 5'. The minimum sidewalk widths may be enlarged for Phase II of the project.

Building facades, including garages, will be sited along the perimeter street frontage were justifiable. In the absence of a building along the remainder of the frontage line, a streetscreen and/or a fence will be built. Publicly accessible buildings shall have their principal pedestrian entrance facing a frontage line. Private residential buildings and accessory structures may have their primary entrances accessible off of a private pedestrian route or drive within the property. Carports will not be on street frontage.

STAFF RECOMMENDATION

Approval

WARRANT #3

CURRENT PROVISION

5.2.4 General Parking Standards

- g) Within Zones T4, T5, and T6 a minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.

PROPOSED

A minimum of one bicycle rack place shall be provided within the public frontage, private frontage, exterior buildings corridors, or areas accessible to pedestrians within the property for every ten vehicular parking spaces.

STAFF RECOMMENDATION

Approval

WARRANT #4

CURRENT PROVISION

5.2.5 General Architectural Standards

- b) Streetscreens shall be made of brick, stone, or stucco on block or other material to match the façade of the Principal Building.

Table 21A – Architectural Standards

A. Materials

Frontage Fences & Walls: Shall be built entirely of wood, metal in a cast-iron style, native/regional stone (or equivalent synthetic), brick, or stucco.

PROPOSED

Streetscreens shall be made of brick, stone, stucco, or metal vegetative screens. As per the definition of Streetscreen, provide for the option to use a hedge or fence as a streetscreen if achieving the same effectiveness as a minimum 3.5 foot wall. Frontage fences and walls shall be built entirely of wood, metal in a cast-iron style, native/regional stone (or equivalent synthetic), brick, stucco, and/or metal vegetative screens.

STAFF RECOMMENDATION

Approval

WARRANT #5

CURRENT PROVISION

5.2.5 General Architectural Standards

- b) All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

PROPOSED

The majority of all openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion. Some windows may be horizontal in proportion to better complement unique conditions presented in a building design. An example would be clerestory windows on the rear façade of the clubhouse.

STAFF RECOMMENDATION

Approval.

WARRANT #6

CURRENT PROVISION

5.2.5 General Architectural Standards

- g) Doors and windows that operate as sliders are prohibited along frontages.

Table 21D – Architectural Standards

B. Configurations

Doors: Shall be side-hinged except garage doors, which may be sectional. Sliders shall not be visible from streets, sidewalks, or public spaces. The style of the front door shall match the building style.

PROPOSED

Doors that operate as sliders are allowed for private porch and balcony access. Doors for private porch or balcony access may use sliders which may be visible from streets, sidewalks, and/or public spaces. Exterior balcony/porch sliding doors shall be Spectrum brand, 4100 Series Patio Doors, Model 6068 (or equivalent).

STAFF RECOMMENDATION

Approval.

PREVIOUSLY APPROVED REGULATIONS

1. Perimeter fencing shall be 6' in height and composed of metal (wrought iron or tubular metal) and may have wood accents.
2. Pitched roofs shall be symmetrically sloped no less than 3:12.
3. Structures shall be constructed of brick, stone, stucco, and/or hardi-plank.

ORDINANCE NO # 13-036-00

AN ORDINANCE OF THE CITY OF LEANDER, TEXAS, AMENDING THE PLANNED UNIT DEVELOPMENT KNOWN AS THE TRANSIT ORIENTED DEVELOPMENT DISTRICT FOR TWO PARCELS OF LAND BY CREATING THE VILLAGE AT LEANDER STATION MF PLANNED UNIT DEVELOPMENT AND ADOPTING A PLANNED UNIT DEVELOPMENT PLAN FOR SUCH PARCELS; MAKING FINDINGS OF FACT; AND PROVIDING FOR RELATED MATTERS.

Whereas, the owner of the property described herein after (the "Property"), which is located in the planned unit development known as the Transit Oriented Development District (the "TODD") has requested that the property be rezoned and planned unit development plan for the Village at Leander Station MF Planned Unit Development be adopted;

Whereas, after giving at least ten days written notice to the owners of land within two hundred feet of the Property, the Planning & Zoning Commission held a public hearing on the proposed rezoning and PUD plan and forwarded its recommendation on the rezoning to the City Council;

Whereas, after publishing notice of the public hearing at least fifteen days prior to the date of such hearing, the City Council at a public hearing has reviewed the request and the circumstances of the Property;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LEANDER, TEXAS, THAT:

Section 1. Findings. The foregoing recitals are hereby found to be true and correct and are hereby adopted by the City Council and made a part hereof for all purposes as findings of fact.

Section 2. Amendment of the TODD Ordinance. Ordinance No.05-026, as amended, the TODD Ordinance, is hereby modified and amended for the Property as set forth in Section 3.

Section 3. Property Rezoned.(a) The TODD Ordinance is hereby amended by creation of the Village at Leander Station MF PUD and adoption of the PUD plan attached hereto as Exhibit A and incorporated herein for all purposes for one parcel located generally located to the north east of the intersection of CR 273/Mel Mathis and Hero Way. The property is approximately 9.74 acres more or less, out of the AW0125 T. Chambers Survey, located in Leander, Williamson County, Texas and is made up of parcel #R510024. The Property is zoned to the planned unit development district known as the Village at Leander Station MF PUD within the TODD. The regulations of the T5 Zone in the Smart Code (defined in the TODD Ordinance) shall apply to the Property.

The Property shall be developed and occupied in compliance with the PUD plan attached as Exhibit A, the regulations for the T5 Zone, the regulations set forth in Section 3(b), the Smart Code, and the TODD Ordinance to the extent not amended by this Ordinance. In the event of any conflict between the TODD Ordinance, the Smart Code, or the T5 Zone regulations and the requirements for the Property set forth herein, the requirements set forth herein shall control.

- (b) The following regulations apply to development of the Property:
- (1) Perimeter fencing shall be 6' in height and composed of metal (wrought iron or tubular metal) and may have wood accents.
 - (2) Pitched roofs shall be symmetrically sloped no less than 3:12.
 - (3) Structures shall be constructed of brick, stone, stucco, and/or hardi-plank.

Section 4. Recording Zoning Change. The City Council directs the City Secretary to record this zoning classification on the City's official zoning map with the official notation as prescribed by the City's zoning ordinance.

Section 5. Severability. Should any section or part of this ordinance be held unconstitutional, illegal, or invalid, or the application to any person or circumstance for any reasons thereof ineffective or inapplicable, such unconstitutionality, illegality, invalidity, or ineffectiveness of such section or part shall in no way affect, impair or invalidate the remaining portion or portions thereof; but as to such remaining portion or portions, the same shall be and remain in full force and effect and to this end the provisions of this ordinance are declared to be severable.

Section 6. Open Meetings. That it is hereby officially found and determined that the meeting at which this ordinance is passed was open to the public as required and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act, Chapt. 551, Loc. Gov't. Code.

PASSED AND APPROVED on First Reading this the 2nd day of May, 2013.

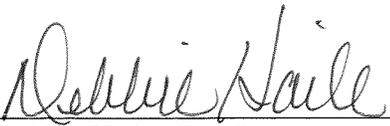
FINALLY PASSED AND APPROVED on this the 16th day of May, 2013.

THE CITY OF LEANDER, TEXAS

ATTEST:



Christopher Fielder, Mayor



Debbie Haile, City Secretary



NOTE: SITE LAYOUT IS CONCEPTUAL AND SUBJECT TO CITY OF LEANDER SITE DEVELOPMENT REVIEW.

SMARTCODE OF THE CITY OF LEANDER APPLIES TO THE PROJECT W/ THE REQUEST OF THE FOLLOWING WAIVERS:

-WAIVER FROM TABLE 19 TO ALLOW PERIMETER FENCING 6' IN HEIGHT COMPOSED OF WROUGHT IRON METAL AND WOOD

-WAIVER FROM TABLE 21G TO ALLOW FOR A 3:12 ROOF PITCH

-WAIVER FROM SECTION 5.65 TO ALLOW BRICK, STONE, STUCCO, AND/OR HARDI-PLANK ON BUILDING EXTERIORS



CONCEPTUAL SITE PLAN - PHASE I
THE VILLAGE AT LEANDER STATION
LEANDER, TX

04.12.13



NOTE: SITE LAYOUT IS CONCEPTUAL AND SUBJECT TO CITY OF LEANDER SITE DEVELOPMENT REVIEW.

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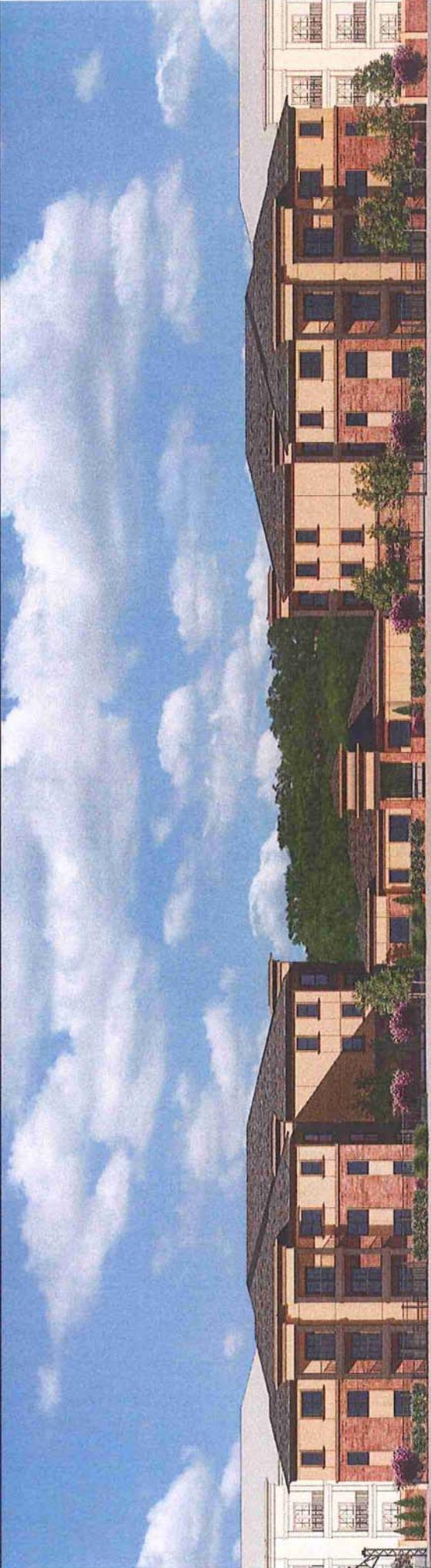
-WAIVER FROM SECTION 5.65 TO ALLOW BRICK, STONE, STUCCO, AND/OR HARDI-PLANK ON BUILDING EXTERIORS



CONCEPTUAL SITE PLAN - PHASE II
THE VILLAGE AT LEANDER STATION
LEANDER, TX

04.12.13





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THE VILLAGE AT LEANDER STATION LEANDER, TEXAS



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THE VILLAGE AT LEANDER STATION LEANDER, TEXAS



EXECUTIVE SUMMARY

DECEMBER 11, 2014

-
- Agenda Subject:** Zoning Case 14-Z-031: Hold a public hearing and consider action on the rezoning of a portion of a tract of land, for 5.88 acres more or less, generally located to the northwest of the intersection of South Bagdad Road and Marsala Circle, WCAD Parcel R430194. Currently, the property is zoned LO-2-B (Local Office) and MF-2-B (Multi-Family) and the applicant is proposing to zone the property LC-2-B (Local Commercial) and MF-2-B (Multi-Family), Leander, Williamson County, Texas.
- Background:** This request is the first step in the rezoning process.
- Origination:** Applicant: Ken Liem on behalf of Emmet J. and Sally Hawkes.
- Financial Consideration:** None
- Recommendation:** See Planning Analysis.
- Motion:** APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)
- DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.
- Attachments:**
1. Planning Analysis
 2. Current Zoning Map
 3. Proposed Zoning Map
 4. Aerial Map
 5. Letter of Intent
- Prepared By:** Robin M. Griffin, AICP
Senior Planner
- 11/26/2014



PLANNING ANALYSIS

ZONING CASE 14-Z-031 THE VILLAGE AT CARNEROS REZONING

GENERAL INFORMATION

- Owner:** Emmet J. and Sally Hawkes
- Current Zoning:** LO-2-B (Local Office)
MF-2-B (Multi-Family)
- Proposed Zoning:** LC-2-B (Local Commercial)
MF-2-B (Multi-Family)
- Size and Location:** The property is located to the northwest of the intersection of South Bagdad Road and Marsala Circle and includes approximately 5.88 acres.
- Staff Contact:** Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

| | ZONING | LAND USE |
|-------|----------------|---|
| NORTH | GC-3-C | Undeveloped land zoned for commercial uses |
| EAST | LC-2-B | Undeveloped land zoned for commercial uses |
| SOUTH | OCL SFU-2-B | Property located outside of the City Limits Established Neighborhood (Vista Ridge) |
| WEST | SFU-2-B | Neighborhood under construction (Vista Ridge Estates aka Carneros Ranch) |

| |
|---|
| COMPOSITE ZONING ORDINANCE & SMARTCODE INTENT STATEMENTS |
|---|

MF – MULTI-FAMILY:

Features: Apartments (25 un./ac. if Type A; 18 un./ac. if Type B)

Intent: Development of multi-family dwelling structures. Such components are generally intended to serve as a buffer between single-family neighborhoods and more intensive uses such as commercial uses or arterial roadways. Such components are also intended to create more variety in housing opportunities in the fabric of the community but are intended to be utilized in small areas to avoid large tracts devoted to strictly multi-family residential development. The goal is to avoid more than twenty-five (25) acres of contiguous land having a Multi-Family component. Access should be provided by a collector or higher classification street.

LC – LOCAL COMMERCIAL:

Features: Any use in LO plus retail sales and services, restaurants, banks, nursery or greenhouse, grocery sales, pharmacies, fitness centers, dance and music academies, artist studio, colleges and universities, bed and breakfast. Hours of operation: 5:00 a.m. to 10:00 Sun.-Thurs., 5:00 a.m. to 11:00 p.m. Fri. and Sat.

Intent: Development of small scale, limited impact commercial, retail, personal services and office uses located in close proximity to their primary customers, which cater to the everyday needs of the nearby residents, and which may be located near residential neighborhoods. Access should be provided by a collector or higher classification street.

TYPE 2:

Features: Accessory buildings greater of 10% of primary building or 120 sq. ft.; accessory dwellings for SFR, SFE and SFS; drive-thru service lanes; uses not to exceed 40,000 sq. ft.; multi-family provides at least 35% of units with an enclosed garage parking space.

Intent:

- (1) The Type 2 site component may be utilized with non-residential developments that are adjacent to a residential district or other more restrictive district to help reduce potential negative impacts to the more restrictive district and to provide for an orderly transition of development intensity.
- (2) The Type 2 site component is intended to be utilized for residential development not meeting the intent of a Type 1 site component and not requiring the additional accessory structure or accessory dwelling privileges of the Type 3 site component.
- (3) This component is intended to be utilized with the majority of LO and LC use components except those that meet the intent of the Type 1 or Type 3 site component or with any use requiring drive-through service lanes.
- (4) This component is generally not intended to be utilized with LI and HI use components except where such component is adjacent to, and not adequately buffered from, residential districts or other more restricted districts, and except as requested by the land owner.

TYPE B:

Features: 85% masonry 1st floor, 50% overall; 4 or more architectural features.

Intent:

- (1) The Type B architectural component is intended to be utilized for the majority of residential development except that which is intended as a Type A architectural component.

- (2) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions.
- (3) This component may be utilized to raise the building standards and help ensure compatibility for non-residential uses adjacent to property that is more restricted.
- (4) This component is intended for the majority of the LO and LC use components except those meeting the intent of the Type A or C architectural components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Plan for continued growth and development that improves the community's overall quality of life and economic viability.
- Provide for a variety of sustainable housing options for all age groups and economic levels. Determine ways to successfully integrate this variety within neighborhoods so as to accommodate the different needs of families throughout their life cycle. Create more desirable and livable neighborhoods while respecting the goal of maintaining stable real estate values and housing marketability.
- Residential neighborhoods are the predominate land use within the City and its ETJ. Neighborhoods are primarily composed of single-family detached housing and include other compatible uses including parks, schools, and places of worship. Neighborhoods may be low to moderate density depending upon the topography and the feasibility of providing organized sewer service. Areas with steep topography, flood plain or other natural features that are intended to be preserved and served by on-site sewage systems will be the lowest density while areas that are relatively flat and where organized sewer systems are feasible will be of medium density. Residential neighborhoods provide connections to each other and to neighborhood, community and town center nodes. A variety of lot and house sizes are encouraged within residential neighborhoods.

ANALYSIS:

The applicant is requesting to rezone the property to MF-2-B (Multi-Family) and LC-2-B (Local Commercial) in order to allow for the development of a multi-family community and retail center at this location. There are established single-family neighborhoods located to the west and south with commercial zoning located along Bagdad Road and to the north. The proposal is to add more MF-2-B zoning to the north of the property and add LC-2-B zoning to the site. Currently there are 11.7 acres of MF-2-B zoning and 5.94 acres of LO-2-B zoning. The new total would be 13.83 acres of MF-2-B and 3.58 acres of LC-2-B zoning.

The proposed MF use component would permit the construction of multi-family units. The intent of this use component is to serve as a buffer between single-family neighborhoods and more intensive uses such as commercial uses or arterial roadways. In this situation, the proposed multi-family would serve as a buffer between the existing residential and S Bagdad Road. This use component is also intended to create more variety in housing opportunities in the fabric of the community but are intended to be utilized in small areas to avoid large tracts devoted to strictly multi-family residential development. The goal is to avoid more than twenty-five (25) acres of contiguous land having a Multi-Family component. Access should be provided by a

collector or higher classification street. Access to this project would be from S Bagdad Road which is classified as a major arterial on the Transportation Plan.

The Type 2 site component would require that 35% of the multi-family units have an enclosed garage parking space. This site component would also limit the outdoor uses associated with the nonresidential development. This site component does allow for drive through service lanes and accessory buildings. This site component does not allow outdoor storage, display, overhead service doors, carwashes or fueling stations.

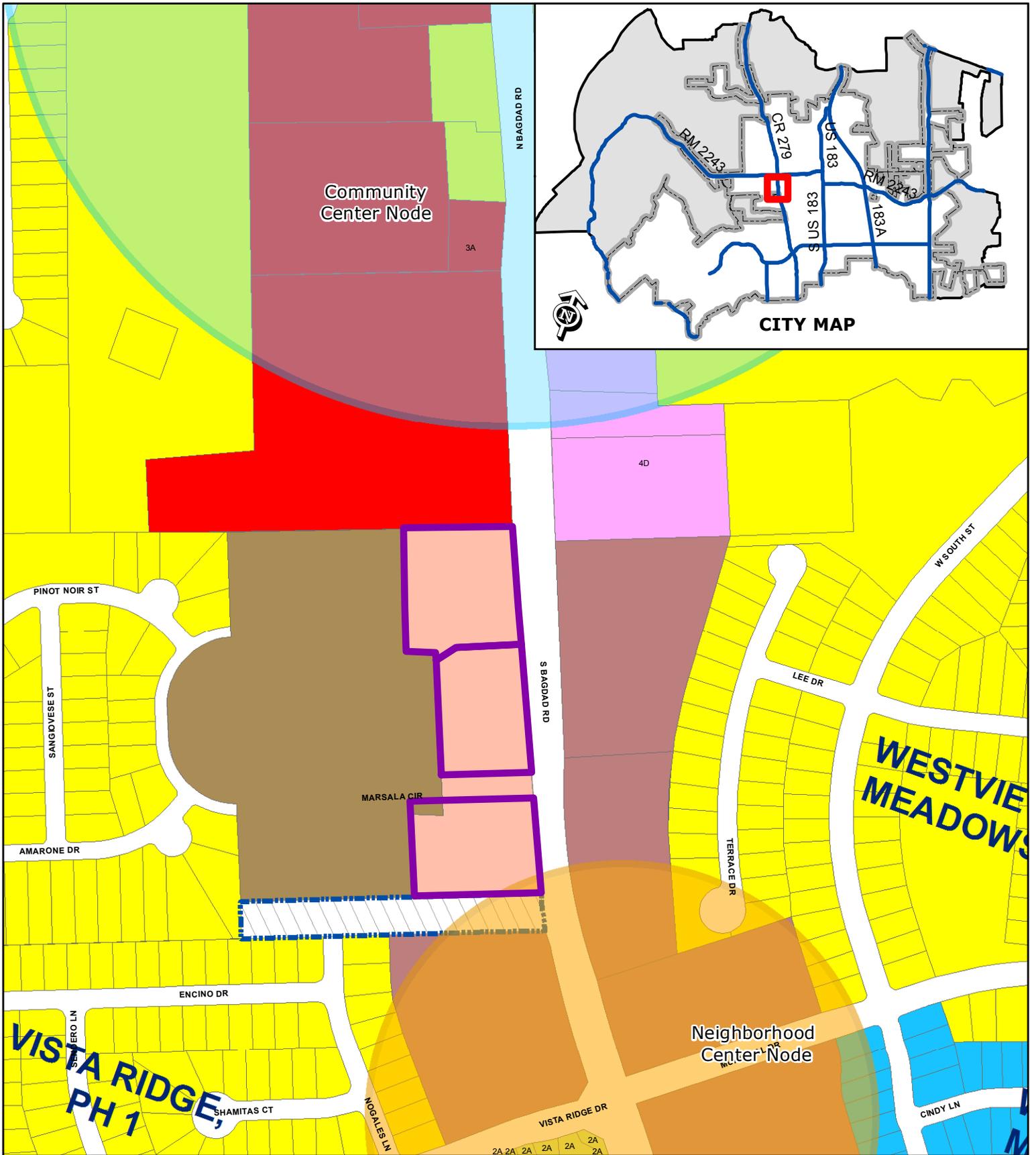
The Type B architectural component would permit a maximum density of 18 units per acre for the multi-family portion of the property and requires that the buildings consist of eight-five (85%) percent masonry for the first story walls and fifty (50%) percent masonry on second story walls.

This property is located within the area designated for residential neighborhoods on the Future Land Use Map. Residential neighborhoods are the predominate land use within the City and it's ETJ. Neighborhoods are primarily composed of single-family detached housing and include other compatible uses including parks, schools, and places of worship. Neighborhoods may be low to moderate density depending upon the topography and the feasibility of providing organized sewer service. Residential neighborhoods provide connections to each other and to neighborhood, community and town center nodes. A variety of lot and house sizes are encouraged within residential neighborhoods.

The property is adjacent to a Neighborhood Center that is centered at the intersection of Municipal Drive and South Bagdad Road. These nodes are approximately one quarter mile in diameter and incorporate approximately 30 acres. These areas are intended for neighborhood scale commercial, retail and office uses that serve the immediately adjacent neighborhoods. These areas are also intended for higher density single-family, two-family and other compatible housing types including townhouses and condominiums. Development within these nodes should be integrated through internal streets and should provide pedestrian and bicycle connections to adjacent residential neighborhoods.

STAFF RECOMMENDATION:

Staff recommends approval of the requested MF-2-B (Multi-Family) district and denial of the LC-2-B (Local Commercial) district. This property is not located within a node identified on the Future Land Use Map. The Comprehensive Plan does not support this zoning district within the residential neighborhood area. The LC use component is more appropriate closer to the intersection of Vista Ridge Drive and South Bagdad Road. In addition, the proposed MF-2-B zoning district will serve as a buffer between South Bagdad Road and the neighborhood that is currently under construction to the west.



ZONING CASE 14-Z-031

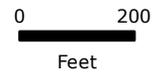
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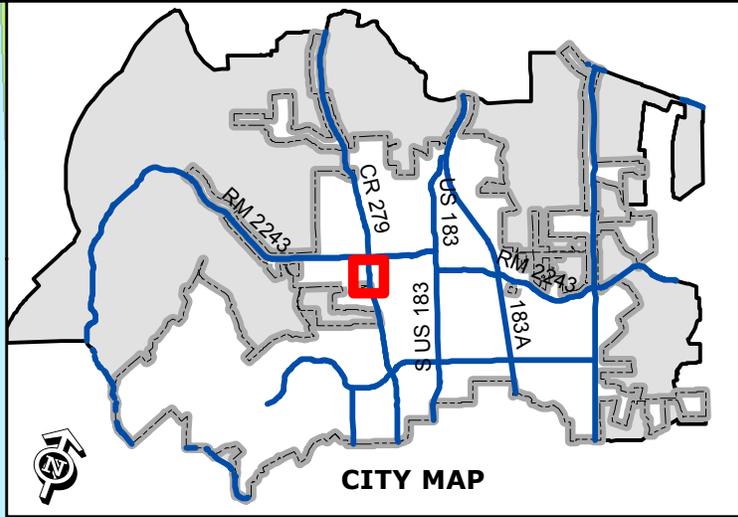
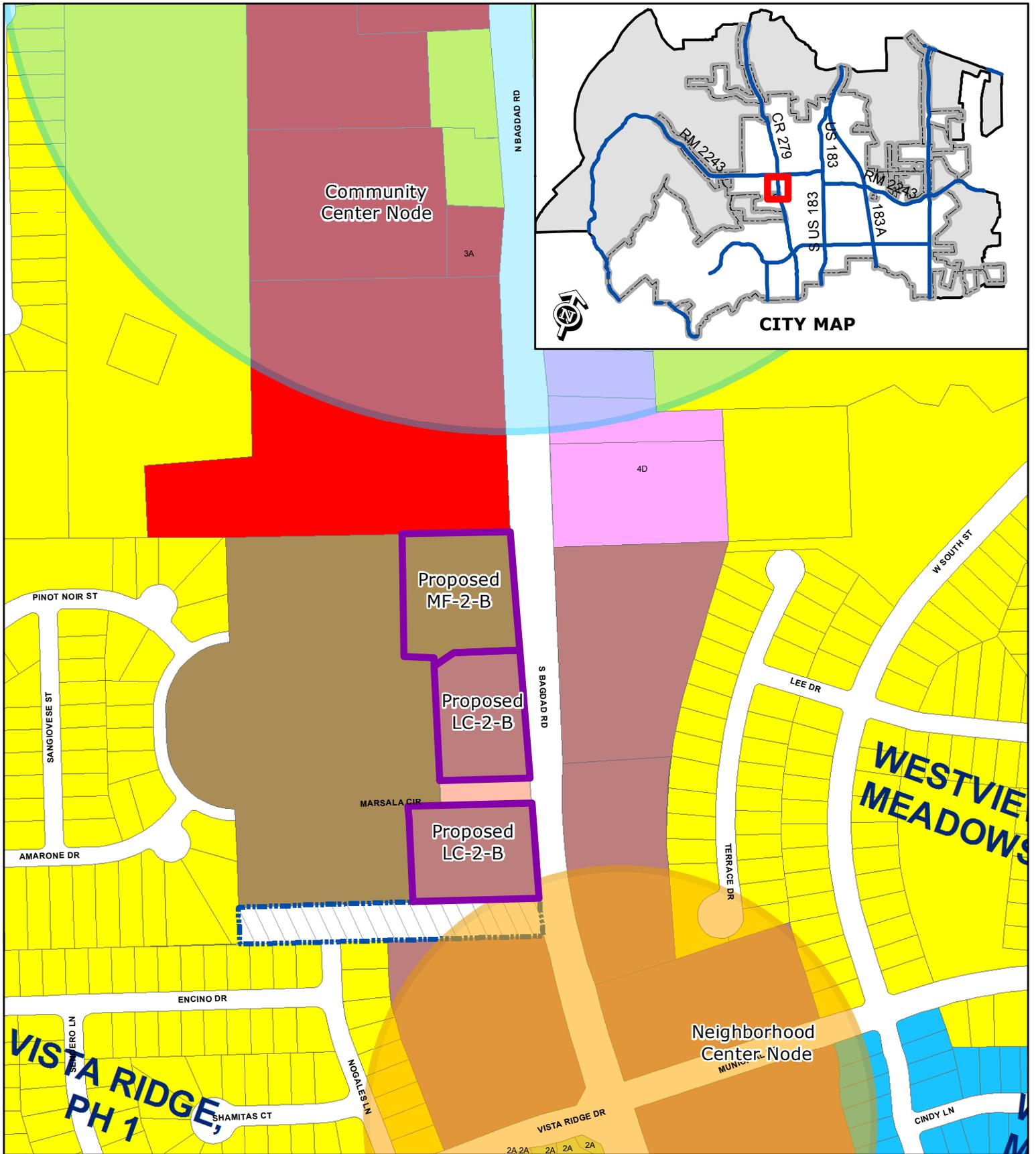
Current Zoning Map
Village at Carneros



-  Subject Property
-  City Limits

| | | | | | |
|---|-----|---|--------|---|-----|
|  | SFR |  | SFT |  | GC |
|  | SFE |  | SFU/MH |  | HC |
|  | SFS |  | TF |  | HI |
|  | SFU |  | MF |  | PUD |
|  | SFC |  | LO | | |
|  | SFL |  | LC | | |





ZONING CASE 14-Z-031

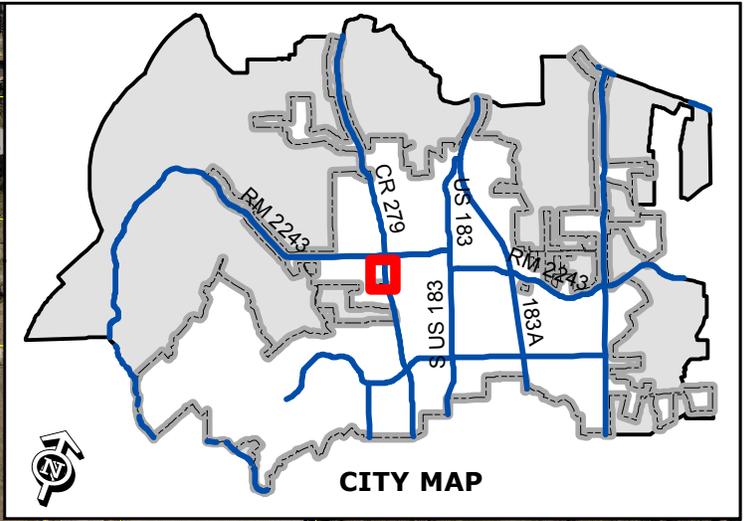
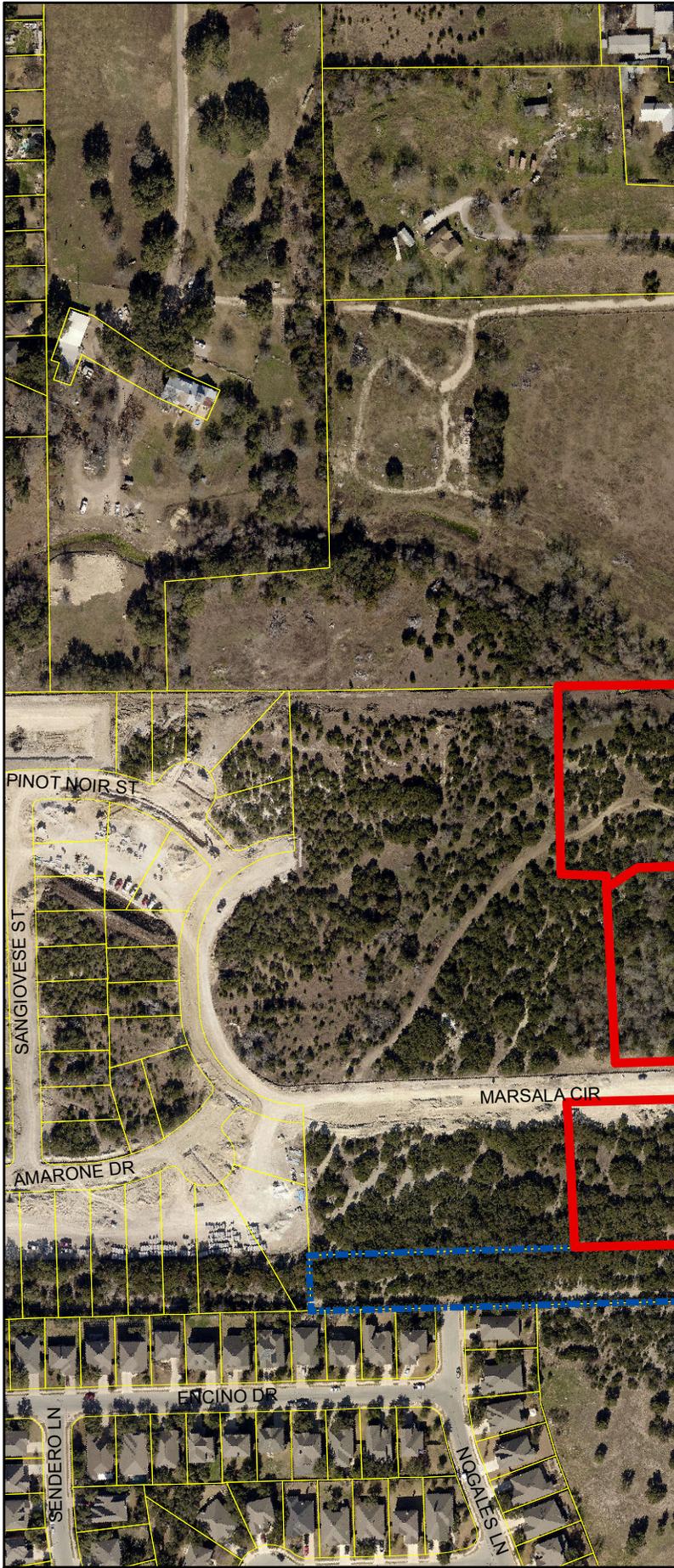
Attachment #3

Proposed Zoning Map
Village at Carneros



-  Subject Property
-  City Limits

- | | | |
|---|--|---|
|  SFR |  SFT |  GC |
|  SFE |  SFU/MH |  HC |
|  SFS |  TF |  HI |
|  SFU |  MF |  PUD |
|  SFC |  LO | |
|  SFL |  LC | |
- 0 200
Feet



ZONING CASE 14-Z-031 Attachment #4

Aerial Exhibit - Approximate Boundaries
Village of Carneros



-  Subject Property
-  City Limits

Letter of Intent for Zoning Change

We would like to request a zoning change property along Bagdad Road from “LO-2-B” (A1) to “MF-2-B” in order to get a better use of the Multi Family site. The water detention of this parcel will be located at the northern corner of (A1).

Secondly, we would like to rezone “LO-2-B” (A2) to “LC-2B” To support the immediate area and surrounding.

Thirdly, to rezone the “LO-2-B” (A3) TO “LC-2-B”

This lower parcel requires a separate water detention from the multi family due to Marsala Circle has been constructed.

This Multi family project will be acting as the transition or buffering site between the surrounding GC, LC and Carneros Ranch single family to the West.

| PHASE | PARCEL | ZONING | ACRES | USE / LOT COUNT |
|-------|--------|--------|-------|-----------------|
| ONE | A | LO | 5.13 | LOCAL OFFICE |
| | B | MF | 10.45 | MULTI-FAMILY |

