



AGENDA

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~ April 14, 2016 at 7:00 pm

**Place 1 Chris Schwendenmann
Place 2 Morgan Cotten
Place 3 Jason Anderson
Place 4 Sid Sokol - Chair**

**Place 5 Richard Allen – Vice Chair
Place 6 Angela Means
Place 7 Marshall Hines**

1. Call to Order
2. Roll Call
3. Approval of Minutes:
Regular Planning & Zoning Meeting: March 24, 2016
4. Director's report to P & Z Commissioners on actions taken by the City Council at the April 7, 2016 meeting.
5. Review meeting protocol
6. Citizen Communications - Three (3) minutes of time is allowed, per speaker

Consent Agenda

7. Subdivision Case 15-SFP-005: Consider action on the Trails of Leander Short Form Final Plat for 51.83 acres more or less; WCAD Parcels R031330 and R031331; generally located to the east of the intersection of South Bagdad Road and Still Meadow Drive; Leander, Williamson County, Texas. Applicant/Agent: Anthony Goode/Fred Lockwood on behalf of American Housing Ventures, LLC.
8. Subdivision Case 15-TOD-SFP-016: Consider action on the Bryson, Phase 1, Section 1F Short Form Final Plat for 7.571 acres more or less; WCAD Parcel R485834; generally located to the southwest of the intersection of Bryson Ridge Trail and Pleasant Hill Road; Leander, Williamson County, Texas. Applicant/Agent: Brett Burke (Bury, Inc) on behalf of Crescent Leander, TX, LLC (Tommy Tucker).
9. Subdivision Case 16-SFP-001: Consider action on the South San Gabriel Ranches Lot 11B Short Form Final Plat for 2.31 acres more or less; WCAD Parcel R544528; generally located ½ mile to the south of the intersection of South Gabriel Dr. and CR 270; on the east side of CR 270., Williamson County Texas. Applicant/Owner: John and Sheryl Vicenik.

Public Hearing

10. Zoning Case 15-Z-015: Hold a public hearing and consider action on the rezoning of a parcel of land located to the south of the intersection of US 183 and the Union Pacific Railroad, and to the north of the southern city limits; 13.590 acres more or less; WCAD Parcel R031782. Currently, the property is zoned SFU-2-B (Single Family Urban). The applicant is proposing to zone the property to GC-3-B (General Commercial), Leander, Williamson County, Texas. Applicant: James Knight on behalf of Robert Knight, Trustee.
 - a) Staff Presentation
 - b) Applicant Presentation
 - c) Open Public Hearing
 - d) Close Public Hearing
 - e) Discussion
 - f) Consider Action
11. Zoning Case 16-Z-004: Hold a public hearing and consider action on the rezoning of a parcel of land located at 801 Apache Trail; 1.50 acres more or less; WCAD Parcel R487426. Currently, the property is zoned GC-3-C (General Commercial). The applicant is proposing to zone the property to PUD (Planned Unit Development) with a zoning base district of MF-2-A (Multi-Family) Leander, Williamson County, Texas. Applicant: Dannen Development LLC (Josh Becker).
 - a) Staff Presentation
 - b) Applicant Presentation
 - c) Open Public Hearing
 - d) Close Public Hearing
 - e) Discussion
 - f) Consider Action

12. Zoning Case 16-TOD-Z-005: Hold a public hearing and consider action on the rezoning of several tracts of land generally located to the southwest of the intersection of San Gabriel Pkwy & US 183; 151.2 acres more or less; legally described as: Oak Creek, Phase 1, Sections 1 & 2; Oak Creek, Phase 2, Sections 1-3; Oak Creek, Phase 5 and WCAD Parcels R540162, R529009; R529004, R529007, R524552, R529010, and R542832. Currently, the property is zoned PUD (Planned Unit Development) with the base zoning districts of SFU-2-B (Single-Family Urban), SFC-2-B (Single-Family Compact), SFL-2-B (Single-Family Limited), SFT-2-B (Single-Family Townhouse), and MF-2-B (Multi-Family) and the applicant is proposing an amendment to the PUD to increase the residential density allowed within the properties located on the east side of West Broade Street, Leander, Williamson County, Texas. Applicant: Mark Baker on behalf of Sentinel Cotter Leander LLC, Castlerock Communities L.P., Megatel Homes Inc, or its Affiliates, and Pacesetter Homes, LLC (Tom Lynch, President).

- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

13. Zoning Case 16-Z-007: Hold a public hearing and consider action on the rezoning of several parcels of land generally located to the west of the intersection of CR 279 and Live Oak Rd; 76.89 acres more or less; WCAD Parcels R022926, R022924, R473840, R022625, and R473841. Currently, the property is zoned interim SFR-1-B (Single-Family Rural). The applicant is proposing to zone the property to SFR-2-B (Single-Family Rural), Leander, Williamson County, Texas. Applicant: San Gabriel Whitt Ranch, LLC (Davy Roberts).

- a) Staff Presentation
- b) Applicant Presentation
- c) Open Public Hearing
- d) Close Public Hearing
- e) Discussion
- f) Consider Action

14. Meeting Adjourned

CERTIFICATION

This meeting will be conducted pursuant to the Texas Government Code Section 551.001 et seq. At any time during the meeting the P & Z Commission reserves the right to adjourn into executive session on any of the above posted agenda items in accordance with the sections 551.071 [litigation and certain consultation with attorney], 551.072 [acquisition of interest in real property], 551.073 [contract for gift to city], 551.074 [certain personnel deliberations] or 551.076 [deployment/implementation of security personnel or devices]. The City of Leander is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please call the City Secretary at (512) 528-2743 for information. Hearing impaired or speech disabled persons equipped with telecommunication devices for the deaf may call (512) 528-2800. I certify that the above agenda for this meeting of the P & Z Commission of the City of Leander, Texas, was posted on the bulletin board at City Hall in Leander, Texas on the 8th day of April, 2016 by 5:00 pm pursuant to Chapter 551 of the Texas Government Code.

Robin Griffin – Senior Planner



Minutes

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~ March 24, 2016 at 7:00 pm

**Place 1 Chris Schwendenmann
Place 2 Morgan Cotten
Place 3 Jason Anderson
Place 4 Sid Sokol - Chair**

**Place 5 Richard Allen – Vice Chair
Place 6 Angela Means
Place 7 Marshall Hines**

1. Call to Order
Meeting called to order at 7:03 pm
2. Roll Call
All Commissioners were present.
3. Approval of Minutes:
Regular Planning & Zoning Meeting: March 10, 2016
Motion made by Vice Chair Allen to approve the minutes, seconded by Commissioner Hines. Motion passed unanimously.
4. Director's report to P & Z Commissioners on actions taken by the City Council at the March 17, 2016 meeting. **Tom Yantis, Assistant City Manager reported on actions taken by the City Council at March 17, 2016 meeting.**
5. Review meeting protocol
Chairman Sokol referred to the printed meeting protocol.
6. Citizen Communications - Three (3) minutes of time is allowed, per speaker
No Citizen wished to speak

Consent Agenda

7. Subdivision Case 14-FP-046: Consider action on the Savanna Ranch, Section 4 Final Plat for 25.237 acres more or less; WCAD Parcels R528758, R508012, R518615, R508009, and R518618; generally located to the north of the intersection of Halsey Drive and San Gabriel Parkway; Leander, Williamson County, Texas. Applicant/Agent: Danny Martin, P.E. (Malone Wheeler) on behalf of Benbrook Development, Inc.
8. Subdivision Case 15-SFP-018: Consider action on the Crystal Falls Town Center, Section 1, Lot 3, Block A replat for 12.719 acres more or less; WCAD Parcels R517837 and R539680; generally located to the southwest of the intersection of N Lakeline Blvd and Crystal Falls Pkwy; Leander, Williamson County, Texas. Applicant/Agent: Joseph T. Sandoval, P.E. on behalf of Cypress Crystal Falls, LP, by Cypress Crystal Falls GP, LLC, by Brian C. Parro, CFP/VP.
9. Plat Vacate Case 16-PV-001: Consider action on the vacation of Lot 10 of the Highmeadow Estates, Phase 1 Subdivision Final Plat for 5.013 acres more or less; generally located to the northeast of the intersection of Ronald W. Reagan Blvd and FM 2243, Leander, Williamson County, Texas. Applicant: 360 Professional Services, Inc (Scott J. Foster) on behalf of Vince J & Nanette Giaco.

Commissioner Cotten moved to approve the consent agenda with staff recommendations, Commissioner Hines seconded the motion. Motion passed unanimously.

Public Hearing

10. Zoning Case 15-Z-028 & Subdivision Case 15-CP-005: Hold a public hearing and consider action on the rezoning and approval of the Devine Lake Concept Plan and PUD zoning for three parcels located at southwest corner of Bagdad and San Gabriel Pkwy; for 202.79 acres more or less; WCAD Parcels R031689, R472771 and R502970. Currently, the property is zoned PUD (Planned Unit Development), GC-3-B (General Commercial) and GC-3-C (General Commercial). The applicant is proposing to zone the PUD (Planned Unit Development) with base districts of SFU-2-A (Single-Family Urban), SFC-2-A (Single-Family Compact), SFL-2-A (Single-Family Limited), and GC-2-A (General Commercial); Leander, Williamson County, Texas. Applicant: Mark Baker on behalf of Sixth Street Capital Investors, LP and Devine Land Investments, LLC.

a) Staff Presentation

Robin Griffin, Senior Planner, discussed the proposed zoning request and concept plan.

b) Applicant Presentation

Gary Blackwell explained the purpose for the zoning and concept plan request.

c) Open Public Hearing

**Chair Sokol opened the public hearing
No one wished to speak.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Anderson moved to approve the PUD (Planned Unit Development) with base districts of SFU-2-A (Single-Family Urban), SFC-2-A (Single-Family Compact), SFL-2-A (Single-Family Limited), LC-2-A (Local Commercial) and GC-2-A (General Commercial), and Concept Plan. Commissioner Means seconded the motion. Motion passed unanimously.

11. Subdivision Case 15-CP-006: Hold a public hearing and consider action on the Valley Vista Concept Plan, for 67.7 acres more or less; WCAD Parcels R510101, R497581, R497583, and R473803, generally located ½ mile north from the northwest corner of the intersection of CR 274 and Ronald Reagan Blvd, on the west side of Ronald Reagan Blvd., Leander, Williamson County Texas. Applicant: Shawn Graham on behalf of Robert Tesch.

a) a Staff Presentation

Martin Siwek, Planner, discussed the proposed zoning.

b) Applicant Presentation

Robert Tesch and Shawn Graham explained the concept plan request.

c) Open Public Hearing

Chair Sokol open the public hearing.

No one wished to speak.

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Vice Chair Allen moved to approve the Concept Plan. Commissioner Hines seconded the motion. Motion passed unanimously.

Zoning Case 15-Z-033: Hold a public hearing and consider action on the rezoning of two parcels located at generally located at the northwest corner of the future intersection of Lakeline Blvd and San Gabriel Pkwy; for 119.932 acres more or less; legally described as 119.932 acres out of the Charles Cochran Survey Abstract No. 134 Williamson County, Texas, WCAD Parcels R031730 and R473812. Currently, the property is zoned Interim SFR-1-B (Single Family Rural). The applicant is proposing to zone the property SFR-2-A (Single-Family Rural), LC-2-B (Local Commercial), LO-2-B (Local Office) and SFT-2-B (Single-Family Townhouse); Leander, Williamson County, Texas. Applicant: Danny R. Martin on behalf of J.L. Development, Inc/John Lloyd.

a) Staff Presentation

Martin Siwek, Planner, discussed the proposed zoning request.

b) Applicant Presentation

Danny Martin explained the purpose for the zoning request.

c) Open Public Hearing

**Chair Sokol opened the public hearing.
No one wished to speak.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Means moved to approve the SFR-2-A (Single Family Rural), SFT-2-A (Single Family Townhouse), LC-2-A (Local Commercial) and LO-2-A (Local Office). Commissioner Anderson seconded the motion. Motion passed unanimously.

12. Meeting Adjourned at **7:45 pm**

Chairman Sokol

ATTEST:

Ellen Pizalate, Secretary



EXECUTIVE SUMMARY

APRIL 14, 2016

Agenda Subject: Subdivision Case 15-SFP-005: Consider action on the Trails of Leander Short Form Final Plat for 51.83 acres more or less; WCAD Parcels R031330 and R031331; generally located to the east of the intersection of South Bagdad Road and Still Meadow Drive; Leander, Williamson County, Texas.

Background: This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the short form final plat satisfies the applicable regulations without requesting any variances.

Origination: Applicant/Agent: Anthony Goode/Fred Lockwood on behalf of American Housing Ventures, LLC

Financial Consideration: None

Recommendation: This final plat includes 1 single-family condo lot. This proposal meets all of the requirements of the Subdivision Ordinance. Staff recommends to conditionally approve the final plat with the following conditions:

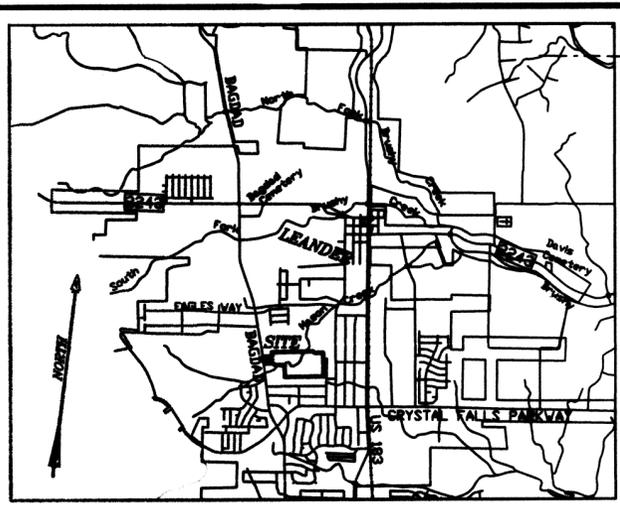
1. The Property Owners Association Bylaws need to be recorded and the recordation number needs to be added to the notes section of the plat.

Motion: The Planning & Zoning Commission recommends approval of the short form final plat for the subject property.

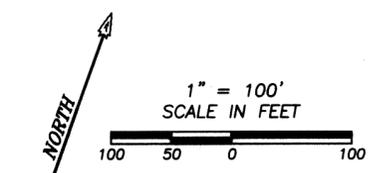
Attachments: 1. Final Plat

Prepared By: Robin M. Griffin, AICP
Senior Planner

04/05/2016



VICINITY MAP
(NOT TO SCALE)



LEANDER LIBRARY HOMESTEAD
(3.470 ACRES)
DOC. NO. 2006048667
O.P.R.W.C.T.

OWNER: AHV-RS TRAILS AT LEANDER, LLC
620 NEWPORT CENTER DRIVE
12TH FLOOR
NEW PORT BEACH, CALIFORNIA, 92660

AREA: 51.83 ACRES
SURVEY: E. D. HARMON SURVEY
ABSTRACT NO. 6

LOTS: 1 SINGLE FAMILY CONDO
BLOCKS: 1

SURVEYOR: LANDESIGN SERVICES, INC.
1220 MCNEIL ROAD
SUITE 200
ROUND ROCK, TEXAS 78661
FIRM REG. NO. 10001800

ENGINEER: LOCKWOOD ENGINEERS, INC.
413 S. WEST DRIVE
LEANDER, TEXAS 78641
TBPE FIRM REG. NO. F-2613

SUBMITTED: 02/24/2015

NUMBER	DIRECTION	DISTANCE
L1	N69°07'53"E	52.47'
L2	N07°07'02"E	25.56'
L3	N60°28'44"E	21.11'
L4	N50°24'13"E	13.00'
L5	N57°58'27"E	70.26'
L6	N79°43'59"E	66.35'
L7	N56°21'18"E	21.87'
L8	N27°31'44"E	23.22'
L9	N53°27'05"E	23.27'
L10	S79°02'46"E	23.52'
L11	S32°59'42"E	32.31'
L12	S62°36'58"E	32.48'
L13	N07°07'02"E	10.52'
L14	N60°28'44"E	14.90'
L15	N50°24'13"E	13.33'
L16	N57°58'27"E	66.38'
L17	N79°43'59"E	66.57'
L18	N56°21'18"E	28.82'
L19	N27°31'44"E	23.62'
L20	N53°27'05"E	13.22'
L21	S79°02'46"E	10.54'
L22	S32°59'42"E	38.02'
L23	N30°15'31"E	60.32'
L24	N08°12'29"W	37.92'
L25	N33°44'15"E	54.65'
L26	N14°22'19"E	10.24'
L27	N42°34'06"E	32.96'

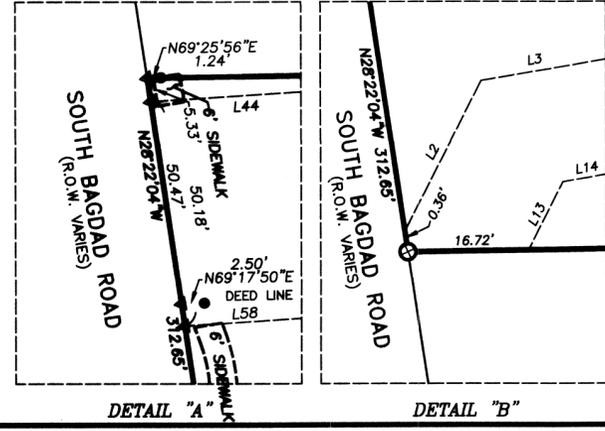
NUMBER	DIRECTION	DISTANCE
L28	S14°22'19"W	11.23'
L29	N42°34'06"E	31.69'
L30	N23°41'52"E	92.00'
L31	N23°41'52"E	94.71'
L32	N22°03'10"E	90.73'
L33	N22°03'10"E	92.07'
L34	N13°27'06"E	95.75'
L35	N13°27'06"E	96.80'
L36	N13°59'32"E	89.35'
L37	N13°59'32"E	89.83'
L38	N09°49'04"E	48.76'
L39	N09°49'04"E	51.41'
L40	N06°08'40"W	60.98'
L41	N06°08'40"W	67.03'
L42	N04°14'49"E	8.58'
L43	N04°55'40"E	27.87'
L44	N66°29'13"E	41.76'
L45	S88°16'08"E	44.02'
L46	N06°37'03"W	21.64'
L47	S52°30'03"E	23.41'
L48	N42°29'57"E	68.91'
L49	N28°33'39"W	66.64'
L50	S28°43'14"E	50.55'
L51	S20°15'56"E	16.06'
L52	S69°44'04"W	15.00'
L53	N20°15'56"W	16.06'
L54	S83°41'06"W	30.33'

NUMBER	DIRECTION	DISTANCE
L55	N17°52'11"W	42.73'
L56	N73°37'27"W	68.34'
L57	S42°29'57"W	64.16'
L58	S66°29'13"W	37.51'
L59	S32°29'57"W	52.33'
L60	N64°00'03"W	29.54'
L61	N52°30'03"W	70.15'
L62	S20°11'18"E	73.66'
L63	S36°24'32"W	71.87'
L64	N42°15'55"W	32.75'
L65	N19°45'55"W	54.85'
L66	N07°38'36"E	63.40'
L67	S18°29'38"W	36.87'
L68	N87°41'18"W	74.56'
L69	N82°52'47"W	36.43'
L70	N20°11'18"W	77.50'
L71	S78°49'21"E	34.94'
L72	S35°27'21"E	73.26'
L73	S20°08'49"W	67.19'
L74	S04°21'43"W	35.35'
L75	S20°15'29"E	54.78'
L76	N24°15'29"E	61.82'
L77	N20°15'29"W	36.60'
L78	N02°14'31"E	19.38'
L79	N24°44'31"E	42.85'
L80	S13°34'18"W	16.69'
L81	S33°14'27"W	13.94'
L82	S57°09'53"W	13.94'

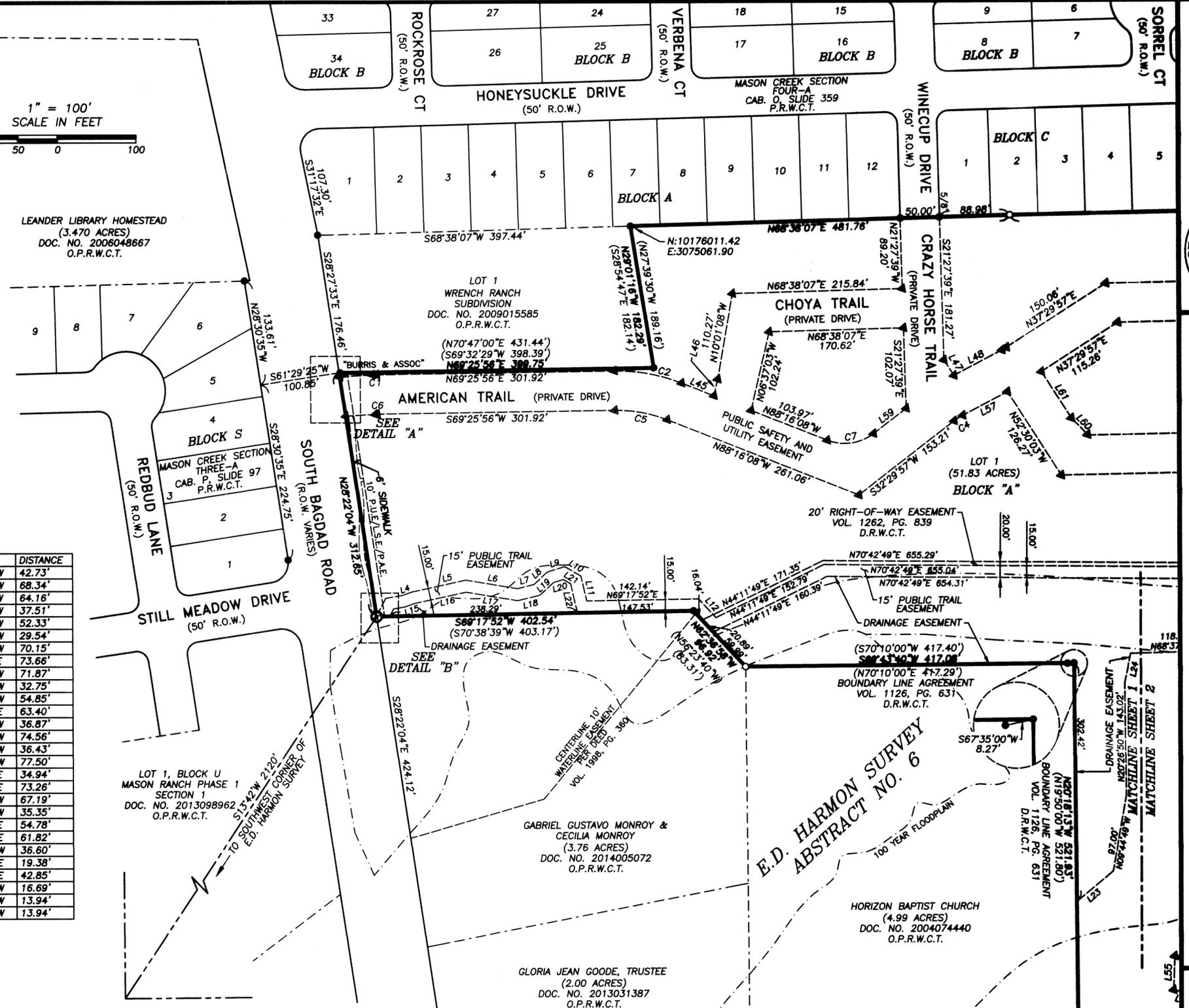
NUMBER	Delta	Radius	Length	Chord Bearing	Chord Length
C1	02°56'43"	100.00	5.14	N67°57'35"E	5.14
C2	22°17'56"	225.00	87.57	N80°34'54"E	87.02
C3	74°44'19"	75.00	97.83	N32°22'22"E	91.04
C4	10°00'00"	75.00	13.09	S37°29'57"W	13.07
C5	22°17'56"	175.00	68.11	S80°34'54"W	67.68
C6	02°56'43"	50.00	2.57	S67°57'35"W	2.57
C7	59°13'55"	60.00	62.03	S62°06'55"W	59.30
C8	05°55'42"	75.00	7.76	S10°36'27"W	7.76

LEGEND

- 1/2" IRON REBAR FOUND (unless noted otherwise)
- ⊙ COTTON SPINDLE FOUND
- ▲ NAIL FOUND
- 1/2" IRON REBAR W/ORANGE PLASTIC CAP STAMPED "LANDESIGN" SET
- ▲ CALCULATED POINT
- ⊗ 1/4" DRILL HOLE SET
- 6' SIDEWALK
- P.U.E. PUBLIC UTILITY EASEMENT
- L.S.E. LANDSCAPE EASEMENT
- P.A.E. PEDESTRIAN ACCESS EASEMENT
- O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS
- P.R.W.C.T. PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS
- D.R.W.C.T. DEED RECORDS OF WILLIAMSON COUNTY, TEXAS



DETAIL "A" DETAIL "B"



LANDESIGN SERVICES, INC.
512-358-7801
1220 MCNEIL ROAD
ROUND ROCK, TEXAS 78661
FIRM REGISTRATION NO. 10001800

EST. 2005

LANDESIGN SERVICES, INC.
LAND SURVEYORS

FINAL PLAT OF
TRAILS AT LEANDER

PROJECT NAME: MCKAY TRACT
JOB NUMBER: 353-14-1
DATE: 02/18/2016
SCALE: 1"=100'
DRAWING FILE PATH: L:\LW Eng\McKay Tract\DWG
FIELDNOTE FILE PATH: L:\LW Eng\McKay Tract\Notes and Bounds
RPLS: JB TECH: HAS PARTICHPER: JA
CHECKED BY: JBL FIELDBOOKS

DRAWING NAME
3530101.DWG

SHEET
1 of 3

THE STATE OF TEXAS {}
THE COUNTY OF WILLIAMSON {}

KNOW ALL MEN BY THE PRESENTS:

THAT AHV-RS TRAILS AT LEANDER, LLC A DELAWARE LIMITED LIABILITY COMPANY, BEING OWNERS OF 51.83 ACRES CONVEYED BY DEED OF RECORD IN DOCUMENT NO. 2015001258 IN THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, OUT OF THE E. D. HARMON SURVEY, ABSTRACT NO. 6 IN WILLIAMSON COUNTY, TEXAS; DO HEREBY SUBDIVIDE 51.83 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS

TRAILS AT LEANDER

AND DO HEREBY DEDICATE ALL ADDITIONAL R.O.W., STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC USE, OR, WHEN THE SUBDIVIDER HAS MADE PROVISIONS FOR PERPETUAL MAINTENANCE THEREOF, TO THE INHABITANTS OF THE SUBDIVISION.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20__ A.D.

PRESIDENT
AHV-RS TRAILS AT LEANDER, LLC
620 NEWPORT CENTER DRIVE
12TH FLOOR
NEW PORT BEACH, CALIFORNIA, 92660

THE STATE OF TEXAS {}
THE COUNTY OF WILLIAMSON {}

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ PRESIDENT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE ____ DAY OF _____, 20__ AD.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME _____ MY COMMISSION EXPIRES _____

ENGINEER'S CERTIFICATION:

I, ANTHONY H. GOODE, P.E. DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF LEANDER, TEXAS.

PORTIONS OF THIS TRACT ARE WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD OF A WATERWAY THAT IS WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48491C0465E, EFFECTIVE SEPTEMBER 26, 2008, ISSUED BY FEMA FOR WILLIAMSON COUNTY, TEXAS.

ANTHONY H. GOODE, P.E.
LOCKWOOD ENGINEERS, INC.
413 S. WEST DRIVE
LEANDER, TEXAS 78641
(512) 280-9100
TBP# FIRM REGISTRATION NO. F-2613



LAND SURVEYOR'S STATEMENT

I, JOSEPH BEAVERS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE LEANDER SUBDIVISION ORDINANCE, IS TRUE AND CORRECT TO THE BEST OF MY ABILITY, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND. ALL APPLICABLE EASEMENTS OF RECORD ARE SHOWN OR NOTED ON THE PLAT AS INDICATED IN COMMITMENT FOR TITLE G.F. NO. 00100-1483, EFFECTIVE SEPTEMBER 9, 2014.

JOSEPH BEAVERS, R.P.L.S. NO. 4938
LANDSIGN SERVICES, INC.
1220 MCNEIL ROAD
SUITE 200
ROUND ROCK, TEXAS 78681
FIRM REGISTRATION NO. 10001800
(512) 238-7901

30 MAR 16
DATE



APPROVED THIS THE ____ DAY OF _____, 20__ A.D., AT A PUBLIC MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF LEANDER, TEXAS AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

SID SOKOL, CHAIRMAN
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

ATTEST: _____
ELLEN PIZALATE, SECRETARY
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

GENERAL NOTES:

- 1. THIS SUBDIVISION IS WHOLLY CONTAINED WITHIN THE CURRENT CORPORATE LIMITS OF THE CITY OF LEANDER, TEXAS.
- 2. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF LEANDER WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- 3. A BUILDING PERMIT IS REQUIRED FROM THE CITY OF LEANDER PRIOR TO CONSTRUCTION OF ANY BUILDING OR SITE IMPROVEMENTS ON ANY LOT IN THIS SUBDIVISION.
- 4. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN EXCEPT AS APPROVED BY THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT.
- 5. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY THE CITY OF LEANDER.
- 6. ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
- 7. IN ADDITION TO THE EASEMENT SHOWN HEREON, A TEN (10') FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG AND ADJACENT TO ALL RIGHT-OF-WAY AND A TWO AND A HALF (2.5') FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG ALL SIDE LOT LINES.
- 8. BUILDING SETBACKS NOT SHOWN HEREON SHALL COMPLY WITH THE MOST CURRENT ZONING ORDINANCE OF THE CITY OF LEANDER. ADDITIONAL RESIDENTIAL GARAGE SETBACKS MAY BE REQUIRED AS LISTED IN THE CURRENT ZONING ORDINANCE.
- 9. ALL UTILITY LINES MUST BE LOCATED UNDERGROUND.
- 10. ALL DRIVE LANES, FIRE LANES, AND DRIVEWAYS WITHIN THIS SUBDIVISION SHALL PROVIDE FOR RECIPROCAL ACCESS FOR INGRESS AND EGRESS TO ALL OTHER LOTS WITHIN THE SUBDIVISION AND TO ADJACENT PROPERTIES.
- 11. AT THE TIME OF SITE DEVELOPMENT PERMIT, UNLESS A NEW TRAFFIC IMPACT ANALYSIS (TIA) FOR THE DEVELOPMENT AS PROPOSED IN THE CONCEPT PLAN INDICATES THAT AVERAGE DAILY TRIPS ARE ESTIMATED BELOW 2,000, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY IN LIEU OF A TIA.
- 12. SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF BAGDAD ROAD. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT, SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED, SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED.
- 13. A PERPETUAL PUBLIC SAFETY AND PUBLIC SERVICE EASEMENT FOR THE PURPOSE OF PROVIDING PUBLIC SAFETY SERVICES, POLICE, FIRE AND MEDICAL SERVICES, UTILITY METER READING, CODE ENFORCEMENT, BUILDING INSPECTIONS, SOLID WASTE COLLECTION, PUBLIC SCHOOL TRANSPORTATION, ANY OTHER PUBLIC SERVICES AND ENFORCING THE CITY ORDINANCES; AND GIVING THE CITY AND ITS AUTHORIZED OFFICERS AND DESIGNEES UNINHIBITED INGRESS AND EGRESS OVER, ACROSS AND THROUGH SUCH STREETS, ROADWAYS, AND RIGHTS-OF-WAY FOR THE PURPOSE OF PROVIDING PUBLIC SAFETY SERVICES, POLICE, FIRE AND MEDICAL SERVICES; AND ENFORCING AND ENFORCING THE PENAL CODE AND CITY ORDINANCES. THE POA SHALL MAINTAIN AT ALL TIMES WITH THE CITY SECRETARY THE CURRENT GATE CODE OR KEY FOR ALL GATES REGULATING ACCESS TO AND FROM THE SUBDIVISION.
- 14. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF IMPROVEMENTS SUCH AS PARKING, PAVING, AND LANDSCAPING WITHIN THE PUBLIC SAFETY AND UTILITY EASEMENT IF AND WHEN THE CITY NEEDS TO ACCESS AND MAINTAIN ITS WATER AND WASTEWATER UTILITIES.
- 15. THE POA BYLAWS ARE RECORDED IN THE OFFICIAL PUBLIC RECORDS OF _____ COUNTY, TEXAS UNDER DOCUMENT NUMBER _____.
- 16. AT THE TIME OF SITE DEVELOPMENT PERMIT, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY IN LIEU OF A TRAFFIC IMPACT ANALYSIS (TIA), UNLESS A TIA FOR THE ENTIRE DEVELOPMENT INDICATES THAT AVERAGE DAILY TRIPS ARE ESTIMATED BELOW 2,000.
- 17. NO PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP PANEL # 48491C0465E FOR WILLIAMSON COUNTY, EFFECTIVE SEPTEMBER 26, 2008.
- 18. THE POA IS REQUIRED TO MOW AND MAINTAIN LANDSCAPING THROUGHOUT THE LOT INCLUDING OPEN CHANNELS, DETENTION AND WATER QUALITY AREAS. THE POA ALSO ACCEPTS AND MAINTAINS DRAINAGE AND WATER QUALITY IMPROVEMENTS (INCLUDING RETAINING WALLS, CONTAINED IN OPEN CHANNELS, DETENTION AND WATER QUALITY AREAS).

METES AND BOUNDS DESCRIPTION

BEING 51.83 ACRES OF LAND, SURVEYED BY LANDESIGN SERVICES, INC., OUT OF E.D. HARMON SURVEY, ABSTRACT NO. 6 IN WILLIAMSON COUNTY, TEXAS, AND BEING ALL OF A CALLED 49.876 ACRE TRACT RECORDED IN DOCUMENT NO. 2006023732 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS (O.P.R.W.C.T.), SAVE AND EXCEPT A 1,546 SQUARE FEET TRACT RECORDED IN DOCUMENT NO. 2000062664 OF THE O.P.R.W.C.T. AND ALL OF A CALLED 2.397 ACRE TRACT RECORDED IN DOCUMENT NO. 2007010848 OF THE O.P.R.W.C.T., AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT NAIL IN CONCRETE FOUND AT THE NORTHEAST CORNER OF SAID 49.876 ACRE TRACT, IN THE SOUTH 7/16" LINE OF LOT 9, BLOCK K, MAGNOLIA CREEK SECTION FIVE A SUBDIVISION OF RECORD IN DOCUMENT NO. 2013112806 OF THE O.P.R.W.C.T. AND AT THE NORTHWEST CORNER OF LOT 12, BLOCK 5, THE HIGH CHAPARRAL A SUBDIVISION OF RECORD IN CABINET B, SLIDE 77 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS (P.R.W.C.T.);

THENCE SOUTH 20°11'18" EAST WITH THE EAST LINE OF SAID 49.876 ACRE TRACT AND THE WEST LINE OF SAID BLOCK 5 A DISTANCE OF 1041.31 FEET TO A CALCULATED POINT AT THE SOUTHEAST CORNER OF SAID 49.876 ACRE TRACT, THE SOUTHWEST CORNER OF LOT 3, BLOCK 5, THE HIGH CHAPARRAL AND IN THE NORTH LINE OF LOT 13, BLOCK 5, THE HIGH CHAPARRAL;

THENCE SOUTH 69°44'31" WEST WITH THE SOUTH LINE OF SAID 49.876 ACRE TRACT AND THE NORTH LINE OF BLOCK 5 A DISTANCE OF 1699.63 FEET TO A 1/2" IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID 49.876 ACRE TRACT, THE SOUTHEAST CORNER OF A CALLED 4.99 ACRE TRACT RECORDED IN DOCUMENT NO. 2004074440 OF THE O.P.R.W.C.T. AND IN THE NORTH LINE OF LOT 30, BLOCK 5, THE HIGH CHAPARRAL;

THENCE NORTH 20°18'13" WEST WITH THE WEST LINE OF SAID 49.876 ACRE TRACT AND THE EAST LINE OF SAID 4.99 ACRE TRACT A DISTANCE OF 521.93 FEET TO A 1/2" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID 4.99 ACRE TRACT, FROM WHICH A 1/2" IRON ROD FOUND BEARS SOUTH 67°35'00" WEST A DISTANCE OF 8.27 FEET;

THENCE SOUTH 69°43'40" WEST WITH THE WEST LINE OF SAID 49.876 ACRE TRACT AND THE NORTH LINE OF SAID 4.99 ACRE TRACT A DISTANCE OF 417.08 FEET TO A 1/2" IRON ROD WITH CAP MARKED "LANDESIGN" SET AT THE NORTHWEST CORNER OF SAID 4.99 ACRE TRACT AND IN THE EAST LINE OF A CALLED 3.76 ACRE TRACT RECORDED IN DOCUMENT NO. 2014005072 OF THE O.P.R.W.C.T.;

THENCE NORTH 62°36'58" WEST WITH THE WEST LINE OF SAID 49.876 ACRE TRACT AND THE EAST LINE OF SAID 3.76 ACRE TRACT A DISTANCE OF 96.92 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHEAST CORNER OF SAID 3.76 ACRE TRACT AND THE SOUTHEAST CORNER OF SAID 2.397 ACRE TRACT;

THENCE SOUTH 69°17'52" WEST WITH THE SOUTH LINE OF SAID 2.397 ACRE TRACT AND THE NORTH LINE OF SAID 3.76 ACRE TRACT A DISTANCE OF 402.54 FEET TO A 1/4" DRILL HOLE SET IN CONCRETE SIDEWALK IN THE EXISTING EAST RIGHT-OF-WAY LINE OF SOUTH BAGDAD ROAD (COUNTY ROAD 278) (R.O.W. VARIES), THE NORTHWEST CORNER OF SAID 3.76 ACRE TRACT, THE SOUTHWEST CORNER OF SAID 2.397 ACRE TRACT AND THE SOUTHEAST CORNER OF A CALLED 7,704 SQ. FT. TRACT RECORDED IN DOCUMENT NO. 2000036584 OF THE O.P.R.W.C.T.;

THENCE NORTH 28°22'04" WEST WITH THE EXISTING EAST RIGHT-OF-WAY LINE OF SAID SOUTH BAGDAD ROAD, THE WEST LINE OF SAID 2.397 ACRE TRACT AND THE EAST LINE OF SAID 7,704 SQ. FT. TRACT AT A DISTANCE OF 262.18 FEET PASSING THE NORTHWEST CORNER OF SAID 2.397 ACRE TRACT, THE NORTHEAST CORNER OF SAID 7,704 SQ. FT. TRACT, THE SOUTHWEST CORNER OF SAID 1,546 SQ. FT. TRACT AND IN THE EXISTING WEST LINE OF SAID 49.876 ACRE TRACT, FROM WHICH A 1/2" IRON ROD FOUND BEARS NORTH 69°17'50" EAST A DISTANCE OF 2.50 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 312.65 FEET TO A CALCULATED POINT AT SOUTHWEST CORNER OF LOT 1, WRENCH RANCH SUBDIVISION A SUBDIVISION OF RECORD IN DOCUMENT NO. 2009015585 OF THE O.P.R.W.C.T. ;

THENCE NORTH 69°25'56" EAST WITH THE WEST LINE OF SAID 49.876 ACRE TRACT AND THE SOUTH LINE OF SAID LOT 1, AT 1.24 FEET PASSING A 1/2" IRON ROD FOUND WITH CAP MARKED "BURRIS & ASSOC" AND CONTINUING FOR A TOTAL DISTANCE OF 399.75 FEET TO A 1/2" IRON ROD FOUND AT THE SOUTHEAST CORNER OF SAID LOT 1;

THENCE NORTH 29°01'16" WEST WITH THE WEST LINE OF SAID 49.876 ACRE TRACT AND THE EAST LINE OF SAID LOT 1 A DISTANCE OF 182.29 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF SAID 49.876 ACRE TRACT, THE NORTHEAST CORNER OF SAID LOT 1 AND IN THE SOUTH LINE OF LOT 7, BLOCK A, MASON CREEK SECTION FOUR-A, A SUBDIVISION OF RECORD IN CABINET O, SLIDE 359 OF THE P.R.W.C.T.;

THENCE WITH THE NORTH LINE OF SAID 49.876 ACRE TRACT AND THE SOUTH LINE OF SAID MASON CREEK SECTION FOUR-A THE FOLLOWING THREE (3) COURSES:

- 1. NORTH 68°38'07" EAST A DISTANCE OF 481.76 FEET TO A 1/2" IRON ROD WITH CAP MARKED "LANDESIGN" SET;
- 2. NORTH 69°07'36" EAST A DISTANCE OF 501.07 FEET TO A 1/2" IRON ROD FOUND;
- 3. NORTH 69°07'53" EAST A DISTANCE OF 52.47 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF LOT 10, BLOCK C, MASON CREEK SECTION FOUR-A AND THE SOUTHWEST CORNER OF LOT 1, BLOCK G, THE WOODS AT MASON CREEK SECTION ONE A SUBDIVISION OF RECORD IN DOCUMENT NO. 2002020349 OF THE O.P.R.W.C.T.;

THENCE NORTH 69°04'02" EAST WITH THE NORTH LINE OF SAID 49.876 ACRE TRACT AND THE SOUTH LINE OF SAID BLOCK G A DISTANCE OF 274.18 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF LOT 4, BLOCK G, THE WOODS AT MASON CREEK SECTION ONE AND IN THE SOUTH LINE OF A CALLED 55.567 ACRE TRACT RECORDED IN DOCUMENT NO. 2013031888 OF THE O.P.R.W.C.T.;

THENCE NORTH 69°05'38" EAST WITH THE NORTH LINE OF SAID 49.876 ACRE TRACT AND THE SOUTH LINE OF SAID 55.567 "ACRE TRACT A DISTANCE OF 161.50 FEET TO A 1/2" IRON ROD WITH CAP MARKED "HAYNIE CONSULTING " FOUND FOR THE SOUTHWEST CORNER OF LOT 1, BLOCK H, MAGNOLIA CREEK SECTION FIVE;

THENCE WITH THE NORTH LINE OF SAID 49.876 ACRE TRACT AND THE SOUTH LINE OF SAID MAGNOLIA CREEK SECTION FIVE THE FOLLOWING THREE (3) COURSES:

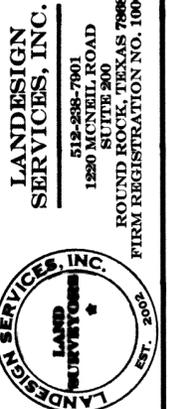
- 1. NORTH 69°02'28" EAST A DISTANCE OF 325.39 FEET TO A COTTON SPINDLE FOUND IN THE SOUTH LINE OF LOT 2, BLOCK K;
- 2. SOUTH 72°28'38" EAST A DISTANCE OF 112.12 FEET TO A 1/2" IRON ROD FOUND WITH CAP MARKED "HAYNIE CONSULTING" IN THE SOUTH LINE OF LOT 3, BLOCK K;
- 3. NORTH 69°11'52" EAST A DISTANCE OF 373.56 FEET TO THE POINT OF BEGINNING.

THE COUNTY OF WILLIAMSON {}

I, NANCY E. RISTER, CLERK OF COUNTY COURT, WITH AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THIS THE ____ DAY OF _____, 20__ A.D., AT ____ O'CLOCK ____ M., AND DULY RECORDED THIS THE ____ DAY OF _____, 20__ A.D., AT ____ O'CLOCK ____ M., IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY IN INSTRUMENT NO. ____ TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, THE DATE LAST SHOWN ABOVE WRITTEN.

BY: _____

NANCY E. RISTER
CLERK, COUNTY COURT OF
WILLIAMSON COUNTY



FINAL PLAT OF
TRAILS AT LEANDER

PROJECT NAME: MCKAY TRACT	JOB NUMBER: 353-14-1	SCALE: 1"=100'
DATE: 02/18/2016	DRAWING FILE PATH: L:\V\W\Eng\Mckay\Tract\DWG	FIELDNOTE FILE PATH: L:\V\W\Eng\Mckay\Tract\Metes and Bounds\
RPLS: JB	TECH: MAS	PARTICHER: JA
CHECKED BY: JB	FIELDBOOKS:	
DRAWING NAME 3530101.DWG		
SHEET 3 of 3		



EXECUTIVE SUMMARY

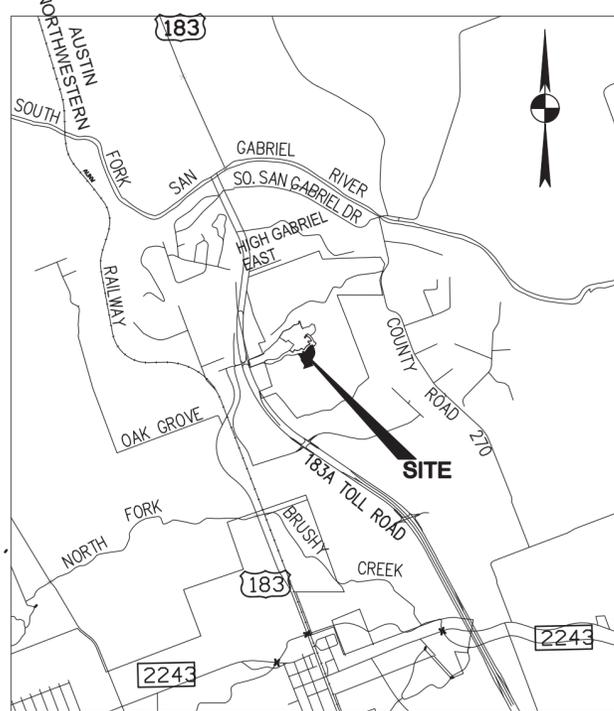
APRIL 14, 2016

-
- Agenda Subject:** Subdivision Case 15-TOD-SFP-016: Consider action on the Bryson, Phase 1, Section 1F Short Form Final Plat for 7.571 acres more or less; WCAD Parcel R485834; generally located to the southwest of the intersection of Bryson Ridge Trail and Pleasant Hill Road; Leander, Williamson County, Texas.
- Background:** This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the short form final plat satisfies the applicable regulations without requesting any variances.
- Origination:** Applicant/Agent: Brett Burke (Bury, Inc) on behalf of Crescent Leander, TX, LLC (Tommy Tucker).
- Financial Consideration:** None
- Recommendation:** This final plat includes 1 HOA Amenity Center lot. This proposal meets all of the requirements of the Subdivision Ordinance. Staff recommends to conditionally approve the final plat with the following conditions:
1. The final plat for Bryson, Phase 1, Section 1C must be recorded and the document number shall be added to this plat prior to recordation.
- Motion:** The Planning & Zoning Commission recommends approval of the short form final plat for the subject property.
- Attachments:** 1. Final Plat
- Prepared By:** Robin M. Griffin, AICP
Senior Planner

04/05/2016

BRYSON, PHASE 1, SECTION 1F FINAL PLAT

BEING 7.571 ACRES OF LAND OUT OF THE WILLIAM MANSIL SURVEY, ABSTRACT NO. 437, SITUATED IN WILLIAMSON COUNTY, TEXAS BEING A PORTION OF THE REMAINDER OF THAT CERTAIN 297.47 ACRE TRACT OF LAND CONVEYED TO CRESCENT LEANDER TX, LLC BY DEED OF RECORD IN DOCUMENT NO. 2014001820 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS



VICINITY MAP
N.T.S.

LEGEND

- 1/2" IRON ROD WITH "BURY" CAP SET
- 1/2" IRON ROD FOUND (UNLESS NOTED)
- (A) BLOCK
- R.O.W. RIGHT-OF-WAY
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- W.L.E. WATER LINE EASEMENT
- D.E. DRAINAGE & STORM SEWER EASEMENT
- W.W.E. WASTEWATER EASEMENT
- E.E. ELECTRIC EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY TEXAS
- 5' SIDEWALK
- ===== 8' SIDEWALK

GENERAL INFORMATION:

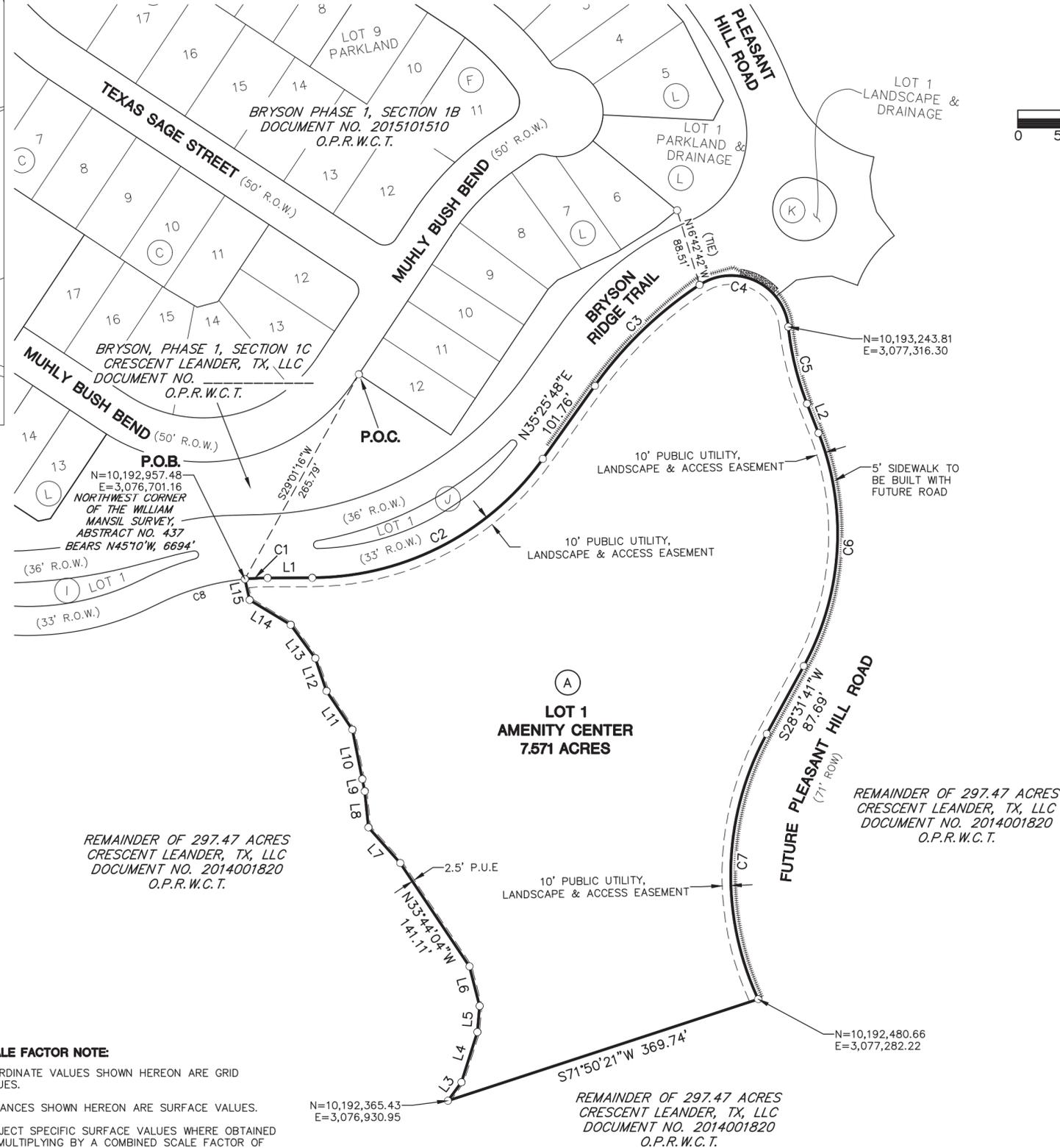
OWNER..... CRESCENT LEANDER, TX, LLC
 TOTAL ACREAGE..... 7.571 ACRES
 SURVEY..... WILLIAM MANSIL SURVEY(A-437)
 DATE..... OCTOBER 20, 2015
 # OF AMENITY CENTER LOTS..... 1
 TOTAL # OF LOTS..... 1
 TOTAL # OF BLOCKS..... 1

BEARING BASIS NOTE:

THE BASIS OF BEARING OF THE SURVEY SHOWN HEREON IS TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83(96), UTILIZING WESTERN DATA SYSTEMS CONTINUALLY OPERATING REFERENCE STATION (CORS) NETWORK.

SCALE FACTOR NOTE:

COORDINATE VALUES SHOWN HEREON ARE GRID VALUES.
 DISTANCES SHOWN HEREON ARE SURFACE VALUES.
 PROJECT SPECIFIC SURFACE VALUES WHERE OBTAINED BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 1.000136, WITH AN ORIGIN POINT OF N 10190946.90, E 3075429.41.



LINE TABLE		
NO.	BEARING	DISTANCE
L1	N89°50'07"E	50.59'
L2	S21°19'26"E	35.76'
L3	N36°09'10"E	25.96'
L4	N17°35'41"E	59.76'
L5	N4°50'09"E	29.71'
L6	N14°15'23"W	46.42'
L7	N41°45'06"W	54.14'
L8	N5°49'35"W	41.18'
L9	N11°19'15"W	14.09'
L10	N11°19'15"W	57.31'
L11	N33°45'49"W	52.70'
L12	N18°42'09"W	39.36'
L13	N36°22'19"W	47.04'
L14	N58°42'52"W	54.45'
L15	N12°39'58"W	24.24'

CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.68'	278.50'	5°17'00"	N87°11'37"E	25.67'
C2	305.28'	321.50'	54°24'19"	N62°37'58"E	293.94'
C3	165.66'	450.00'	21°05'32"	N45°58'34"E	164.72'
C4	133.40'	65.00'	117°35'34"	S64°40'53"E	111.19'
C5	89.98'	335.50'	15°21'57"	S13°38'28"E	89.71'
C6	273.64'	314.50'	49°51'07"	S03°36'08"W	265.09'
C7	312.48'	335.50'	53°21'54"	S01°50'44"W	301.31'
C8	104.67'	278.50'	21°32'05"	N73°47'04"E	104.06'

OWNER/DEVELOPER
CRESCENT LEANDER, TX, LLC
 400 LAS COLINAS BOULEVARD, SUITE 1075
 IRVIN, TEXAS 75039-5579
 (469) 513-5601

ENGINEER
Bury-Aus, Inc.
 221 WEST SIXTH STREET, SUITE 600
 AUSTIN, TEXAS 78701
 (512) 328-0011 FAX (512) 328-0325

SURVEYOR
Bury-Aus, Inc.
 221 WEST SIXTH STREET, SUITE 600
 AUSTIN, TEXAS 78701
 (512) 328-0011 FAX (512) 328-0325

**BRYSON, PHASE 1,
 SECTION 1F FINAL PLAT**
 DATE: OCTOBER 20, 2015

BURY
 221 West Sixth Street, Suite 600
 Austin, Texas 78701
 Tel. (512) 328-0011 Fax (512) 328-0325
 TBPE # F-1048 TBPLS # F-10107500
 Copyright © 2016

BRYSON, PHASE 1 SECTION 1F FINAL PLAT

BEING 7.571 ACRES OF LAND OUT OF THE WILLIAM MANSIL SURVEY, ABSTRACT NO. 437, SITUATED IN WILLIAMSON COUNTY, TEXAS
 BEING A PORTION OF THE REMAINDER OF THAT CERTAIN 297.47 ACRE TRACT OF LAND CONVEYED TO CRESCENT LEANDER TX, LLC
 BY DEED OF RECORD IN DOCUMENT NO. 2014001820 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS

LIEN HOLDER'S CERTIFICATION:

By signing this plat, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable consideration, the sufficiency and receipt of which is hereby acknowledged, the undersigned hereby releases the rights-of-way, streets, alleys, easements, parks, and other open spaces dedicated to the City or to public use set forth on this plat, from any deed of trust, vendor's lien, or other type of lien or note on the Property owned by the lien holder, including but not limited to the note and lien described in the instrument entitled First Lien Deed of Trust, Security Agreement, Assignment of Leases and Rents and Fixture Filing, dated January 8, 2014, filed of record in the Official Public Records of Williamson County, Texas at Document No. 2014001821.

Lienholder Name:
 JEFFERIES FINANCE LLC,
 a Delaware limited liability company

By: Wilmington Trust, National Association, a national banking association, as Sub-Agent for
 Jefferies Finance LLC

By: J. Anderson
 Name: Jennifer Anderson
 Title: Assistant Vice President

STATE OF Delaware
 COUNTY OF New Castle

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this the 30 day of March, personally appeared Jennifer Anderson and say that (s)he is Assistant Vice President of WILMINGTON TRUST, NATIONAL ASSOCIATION, a national banking association, a duly authorized agent with authority to sign said document, personally known to me (and proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 30th day of March, 2016.

Tannette L.M. Nastasi
 Notary Public, State of Delaware
 My commission expires: 2/22/17

TANNETTE L.M. NASTASI
 NOTARY PUBLIC
 STATE OF DELAWARE
 My Commission Expires 02-22-2017

LIEN HOLDER'S CERTIFICATION:

By signing this plat, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable consideration, the sufficiency and receipt of which is hereby acknowledged, the undersigned hereby releases the rights-of-way, streets, alleys, easements, parks, and other open spaces dedicated to the City or to public use set forth on this plat, from any deed of trust, vendor's lien, or other type of lien or note on the Property owned by the lien holder, including but not limited to the note and lien described in the instrument entitled Second Lien Deed of Trust, Security Agreement, Assignment of Leases and Rents and Fixture Filing, dated January 8, 2014, filed of record in the Official Public Records of Williamson County, Texas at Document No. 2014001822.

Lienholder Name:
 WILMINGTON TRUST, NATIONAL ASSOCIATION,
 a national banking association, as Collateral Trustee for the Parity Lien Secured Parties

By: Jane Schweiger
 Name: Jane Schweiger
 Title: Vice President

STATE OF Minnesota
 COUNTY OF Hennepin

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this the 30 day of March, personally appeared Jane Schweiger and say that (s)he is a Vice President of WILMINGTON TRUST, NATIONAL ASSOCIATION, a national banking association, a duly authorized agent with authority to sign said document, personally known to me (and proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 30 day of March, 2016.

George H. Kuhl
 Notary Public, State of Minnesota
 My commission expires: 1-31-2019

Renee AS Kuhl
 NOTARY PUBLIC
 State of Minnesota
 My Commission Expires 1-31-2019

METES AND BOUNDS DESCRIPTION:

OF 7.571 ACRES OF LAND OUT OF THE WILLIAM MANSIL SURVEY, ABSTRACT NO. 437, SITUATED IN WILLIAMSON COUNTY, TEXAS BEING A PORTION OF THE REMAINDER OF THAT CERTAIN 297.47 ACRE TRACT OF LAND CONVEYED TO CRESCENT LEANDER TX, LLC, BY DEED OF RECORD IN DOCUMENT NO. 2014001820, OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 7.571 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING, AT A 1/2 INCH IRON ROD WITH "BURY" CAP SET IN THE SOUTHERLY RIGHT-OF-WAY LINE OF MUHLY BUSH BEND (50' R.O.W.), BEING THE NORTHWESTERLY CORNER OF LOT 12, BLOCK "L", BRYSON PHASE 1, SECTION 1B, A SUBDIVISION OF RECORD IN DOCUMENT NO. 2015101510 OF SAID OFFICIAL PUBLIC RECORDS;

THENCE, S29°01'16"W, LEAVING THE NORTHWESTERLY CORNER OF SAID LOT 12, OVER AND ACROSS SAID REMAINDER OF 297.47 ACRE TRACT, A DISTANCE OF 265.79 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF BEGINNING AND NORTHWESTERLY CORNER HEREOF;

THENCE, CONTINUING OVER AND ACROSS SAID REMAINDER OF 297.47 ACRE TRACT, FOR THE EXTERIOR LINES HEREOF, THE FOLLOWING TWENTY-SIX (26) COURSES AND DISTANCES:

- 1) ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 278.50 FEET, A CENTRAL ANGLE OF 5°17'00", AN ARC LENGTH OF 25.68 FEET, AND A CHORD WHICH BEARS N87°11'37"E, A DISTANCE OF 25.67 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE END OF SAID CURVE;
- 2) N89°50'07"E, A DISTANCE OF 50.59 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF CURVATURE OF A CURVE TO THE LEFT;
- 3) ALONG SAID CURVE, HAVING A RADIUS OF 321.50 FEET, A CENTRAL ANGLE OF 54°24'19", AN ARC LENGTH OF 305.28 FEET, AND A CHORD WHICH BEARS N62°37'58"E, A DISTANCE OF 293.94 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE END OF SAID CURVE;
- 4) N35°25'48"E, A DISTANCE OF 101.76 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF CURVATURE OF A CURVE TO THE RIGHT;
- 5) ALONG SAID CURVE, HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 21°05'32", AN ARC LENGTH OF 165.66 FEET, AND A CHORD WHICH BEARS N45°58'34"E, A DISTANCE OF 164.72 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF CURVATURE OF A COMPOUND CURVE TO THE RIGHT, FOR THE NORTHEASTERLY CORNER HEREOF, FROM WHICH A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE SOUTHEASTERLY CORNER OF LOT 6, BLOCK "L" OF SAID BRYSON PHASE 1, SECTION 1B BEARS N16°42'42"W, A DISTANCE OF 88.51 FEET;
- 6) ALONG SAID COMPOUND CURVE, HAVING A RADIUS OF 65.00 FEET, A CENTRAL ANGLE OF 117°35'34", AN ARC LENGTH OF 133.40 FEET, AND A CHORD WHICH BEARS S64°40'53"E, A DISTANCE OF 111.19 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF CURVATURE OF A REVERSE CURVE TO THE LEFT;
- 7) ALONG SAID REVERSE CURVE, HAVING A RADIUS OF 335.50 FEET, A CENTRAL ANGLE OF 15°21'57", AN ARC LENGTH OF 89.98 FEET, AND A CHORD WHICH BEARS S13°38'28"E, A DISTANCE OF 89.71 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE END OF SAID CURVE;
- 8) S21°19'26"E, A DISTANCE OF 35.76 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF CURVATURE OF A CURVE TO THE RIGHT;
- 9) ALONG SAID CURVE, HAVING A RADIUS OF 314.50 FEET, A CENTRAL ANGLE OF 49°51'07", AN ARC LENGTH OF 273.64 FEET, AND A CHORD WHICH BEARS S03°36'08"W, A DISTANCE OF 265.09 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE END OF SAID CURVE;

METES AND BOUNDS DESCRIPTION:

- 10) S28°31'41"W, A DISTANCE OF 87.69 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE POINT OF CURVATURE OF A CURVE TO THE LEFT;
- 11) ALONG SAID CURVE, HAVING A RADIUS OF 335.50 FEET, A CENTRAL ANGLE OF 53°21'54", AN ARC LENGTH OF 312.48 FEET, AND A CHORD WHICH BEARS S01°50'44"W, A DISTANCE OF 301.31 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE END OF SAID CURVE, FOR THE SOUTHEASTERLY CORNER HEREOF;
- 12) S71°50'21"W, A DISTANCE OF 369.74 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET AT THE SOUTHWESTERLY CORNER HEREOF;
- 13) N36°09'10"E, A DISTANCE OF 25.96 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 14) N17°35'41"E, A DISTANCE OF 59.76 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 15) N04°50'09"E, A DISTANCE OF 29.71 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 16) N14°15'23"W, A DISTANCE OF 46.42 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 17) N33°44'04"W, A DISTANCE OF 141.11 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 18) N41°45'06"W, A DISTANCE OF 54.14 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 19) N05°49'35"W, A DISTANCE OF 41.18 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 20) N11°19'15"W, A DISTANCE OF 14.09 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 21) N11°19'15"W, A DISTANCE OF 57.31 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 22) N33°45'49"W, A DISTANCE OF 52.70 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 23) N18°42'09"W, A DISTANCE OF 39.36 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 24) N36°22'19"W, A DISTANCE OF 47.04 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 25) N58°42'52"W, A DISTANCE OF 54.45 FEET TO A 1/2 INCH IRON ROD WITH "BURY" CAP SET FOR AN ANGLE POINT HEREOF;
- 26) N12°39'58"W, A DISTANCE OF 24.24 FEET TO THE POINT OF BEGINNING, CONTAINING AN AREA OF 7.571 ACRES OR (329,797 SQUARE FEET) OF LAND, MORE OR LESS, WITHIN THESE METES AND BOUNDS.

BRYSON, PHASE 1, SECTION 1F FINAL PLAT

DATE: OCTOBER 20, 2015

BURY

221 West Sixth Street, Suite 600
 Austin, Texas 78701
 Tel. (512) 328-0011 Fax (512) 328-0325
 TBPE # F-1048 TBPLS # F-10107500
 Copyright © 2016

BRYSON, PHASE 1, SECTION 1F FINAL PLAT

BEING 7.571 ACRES OF LAND OUT OF THE WILLIAM MANSIL SURVEY, ABSTRACT NO. 437, SITUATED IN WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF THE REMAINDER OF THAT CERTAIN 297.47 ACRE TRACT OF LAND CONVEYED TO CRESCENT LEANDER TX, LLC BY DEED OF RECORD IN DOCUMENT NO. 2014001820 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF WILLIAMSON

§
§ KNOW ALL MEN BY THESE PRESENTS

THAT CRESCENT LEANDER, TX, LLC, OWNER OF THAT CERTAIN 297.47 ACRE TRACT OF LAND DESCRIBED IN DEED RECORDED IN DOCUMENT NO. 2014001820, OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; DO HEREBY SUBDIVIDE THE 7.571 ACRES AS SHOWN HEREON AND DEDICATE ALL ADDITIONAL ROW, STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC USE, OR, WHEN THE SUBDIVIDER HAS MADE PROVISION FOR PERPETUAL MAINTENANCE THEREOF, TO THE INHABITANTS OF THE SUBDIVISION. THIS SUBDIVISION IS TO BE KNOWN AS "BRYSON, PHASE 1, SECTION 1F FINAL PLAT". THE OWNERS ACKNOWLEDGE THAT IT IS THE RESPONSIBILITY OF THE OWNERS, NOT CITY OF LEANDER, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS RELATING TO THE ENVIRONMENT, INCLUDING BUT NOT LIMITED TO THE ENDANGERED SPECIES ACT, STATE AQUIFER REGULATIONS, AND MUNICIPAL WATERSHED ORDINANCES.

CRESCENT LEANDER, TX, LLC.

BY: [Signature]
NAME: Tommy Tucker 4-9-16
TITLE: V.P. DATE

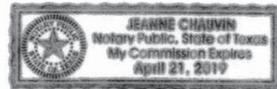
STATE OF TEXAS
COUNTY OF Trovis

§
§ KNOW ALL MEN BY THESE PRESENTS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tommy Tucker OF CRESCENT LEANDER, TX, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 9 DAY OF April, 2015, 2016

[Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
PRINTED NAME: Jeanne Chauvin
MY COMMISSION EXPIRES ON: 4-21-19



ENGINEER'S CERTIFICATION:

I, KEITH YOUNG, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SUBDIVISION IS IN THE EDWARDS AQUIFER CONTRIBUTING ZONE AND IS NOT ENCRACED BY A ZONE A FLOOD AREA, AS DENOTED HEREIN, AND IS DEFINED BY FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY PANEL NUMBERS 48491C0455E, EFFECTIVE DATE SEPTEMBER 26, 2008, WILLIAMSON COUNTY, TEXAS, AND COMPLY WITH THE WILLIAMSON COUNTY SUBDIVISION ORDINANCE.

[Signature] 4/9/16
KEITH YOUNG, P.E.
NO. 49222 STATE OF TEXAS
BURY-AUS, INC.
221 WEST SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701



SURVEYOR'S CERTIFICATION:

THAT I, JOHN T. BILNOSKI, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE CITY OF LEANDER SUBDIVISION ORDINANCE. ALL EASEMENTS OF RECORD AS LISTED IN THE COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY OF NO. 1002-40313-RTT EFFECTIVE DATE 12/13/2013 ISSUED 12/30/2013 AND ALSO AS PER A NOTHING FURTHER CERTIFICATE ISSUED BY HERITAGE TITLE COMPANY OF AUSTIN, INC FILE NO. CS20150055 DATED THROUGH FEBRUARY 13, 2015, THAT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.

[Signature] 4/4/16
JOHN T. BILNOSKI, R.P.L.S.
TEXAS REGISTRATION NO. 4998
BURY-AUS, INC.
221 WEST SIXTH STREET, SUITE 600
AUSTIN, TEXAS 78701



- NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF LEANDER WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- WASTEWATER AND WATER SYSTEMS SHALL CONFORM TO TCEQ (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) AND STATE BOARD OF INSURANCE REQUIREMENTS. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO DEVELOP THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
- NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN, EXCEPT AS APPROVED BY THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT.
- PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY CITY OF LEANDER.
- ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
- THE HOMEOWNER'S ASSOCIATION WILL OWN AND MAINTAIN THE FOLLOWING LOTS: AMENITY CENTER LOT (LOT 1 - BLOCK A).
- IN ADDITION TO THE EASEMENT SHOWN HEREON, A TEN (10) FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG AND ADJACENT TO ALL RIGHT-OF-WAY AND A 2.5 (FT) PUBLIC UTILITY EASEMENT ALONG ALL SIDE LOT LINES.
- TEMPORARY AND PERMANENT EASEMENTS TO BE PROVIDED AS REQUIRED FOR OFF-SITE WATER, WASTEWATER AND DRAINAGE IMPROVEMENTS.
- THIS SITE IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE. DEVELOPMENT OF THE SITE WILL COMPLY WITH ALL APPLICABLE TCEQ EDWARDS AQUIFER RULES.
- SIDEWALKS SHALL BE INSTALLED ON THE SUBDIVISION SIDE OF PLEASANT HILL ROAD AND BRYSON RIDGE TRAIL. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT (INCLUDING SIDEWALKS ALONG STREET FRONTAGES OF LOTS PROPOSED FOR SCHOOLS, CHURCHES, PARK LOTS, DRAINAGE LOTS, LANDSCAPE LOTS OR SIMILAR LOTS), SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED, SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. AS SHOWN ON SHEET 1.
- THE BRYSON PROPERTY DRAINS TO THE SOUTH FORK OF THE SAN GABRIEL RIVER..
- THIS SUBDIVISION IS WHOLLY CONTAINED WITHIN THE CURRENT CORPORATE LIMITS OF THE CITY OF LEANDER, TEXAS.
- ALL UTILITY LINES MUST BE LOCATED UNDERGROUND.
- THE HOA BYLAWS ARE RECORDED IN THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS UNDER DOCUMENT NUMBER 2015027331.
- THE HOMEOWNERS ASSOCIATION IS REQUIRED TO MOW AND MAINTAIN LANDSCAPING IN THE OPEN CHANNELS, DETENTION AND WATER QUALITY AREAS.
- THE CITY ACCEPTS AND MAINTAINS DRAINAGE AND WATER QUALITY IMPROVEMENTS CONTAINED IN OPEN CHANNELS, DETENTION AND WATER QUALITY AREAS.
- A DEVELOPMENT AGREEMENT FOR THIS SUBDIVISION LAND USE AND UTILITY SERVICE WITH THE CITY OF LEANDER WAS APPROVED ON DECEMBER 19, 2013.
- A BUILDING PERMIT IS REQUIRED FROM THE CITY OF LEANDER PRIOR TO CONSTRUCTION OF ANY BUILDING OR SITE IMPROVEMENTS ON ANY LOT IN THIS SUBDIVISION.
- NO PORTION OF THIS TRACT IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAP PANEL # 48491C0455E FOR WILLIAMSON CO., EFFECTIVE SEPTEMBER 26, 2008.
- BUILDING SETBACKS NOT SHOWN HEREON SHALL COMPLY WITH THE MOST CURRENT ZONING ORDINANCE OF THE CITY OF LEANDER. ADDITIONAL RESIDENTIAL GARAGE SETBACKS MAY BE REQUIRED AS LISTED IN THE CURRENT ZONING ORDINANCE.
- THE HOA OR PROPERTY OWNERS WILL MAINTAIN THE FENCES ALONG THE ROWS AND EASEMENTS.

CITY OF LEANDER CERTIFICATION:

APPROVED THIS THE _____ DAY OF _____, 20____ A.D. AT A PUBLIC MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF LEANDER, TEXAS AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON COUNTY.

SID SOKOL, CHAIRMAN
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

ATTEST:
ELLEN PIZALATE, SECRETARY
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

STATE OF TEXAS
COUNTY OF WILLIAMSON

§
§ KNOW ALL MEN BY THESE PRESENTS

I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE WAS FILED FOR RECORD IN MY OFFICE ON THE DAY _____ OF _____, 2015 A.D., AT _____ O'CLOCK, ____ M.,

AND DULY RECORDED THIS THE DAY _____ OF _____, 2015 A.D., AT _____ O'CLOCK ____ M., IN THE PLAT RECORDS OF SAID COUNTY, IN DOCUMENT NUMBER _____.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST SHOWN ABOVE WRITTEN.

NANCY RISTER, CLERK, COUNTY COURT
OF WILLIAMSON COUNTY, TEXAS

BY: _____ DEPUTY

**BRYSON, PHASE 1,
SECTION 1F FINAL PLAT**
DATE: OCTOBER 20, 2015

BURY

221 West Sixth Street, Suite 600
Austin, Texas 78701
Tel. (512) 328-0011 Fax (512) 328-0325
TBPE # F-1048 TBPLS # F-10107500
Copyright © 2016



EXECUTIVE SUMMARY

APRIL 14, 2016

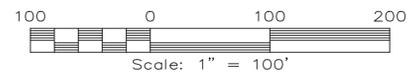
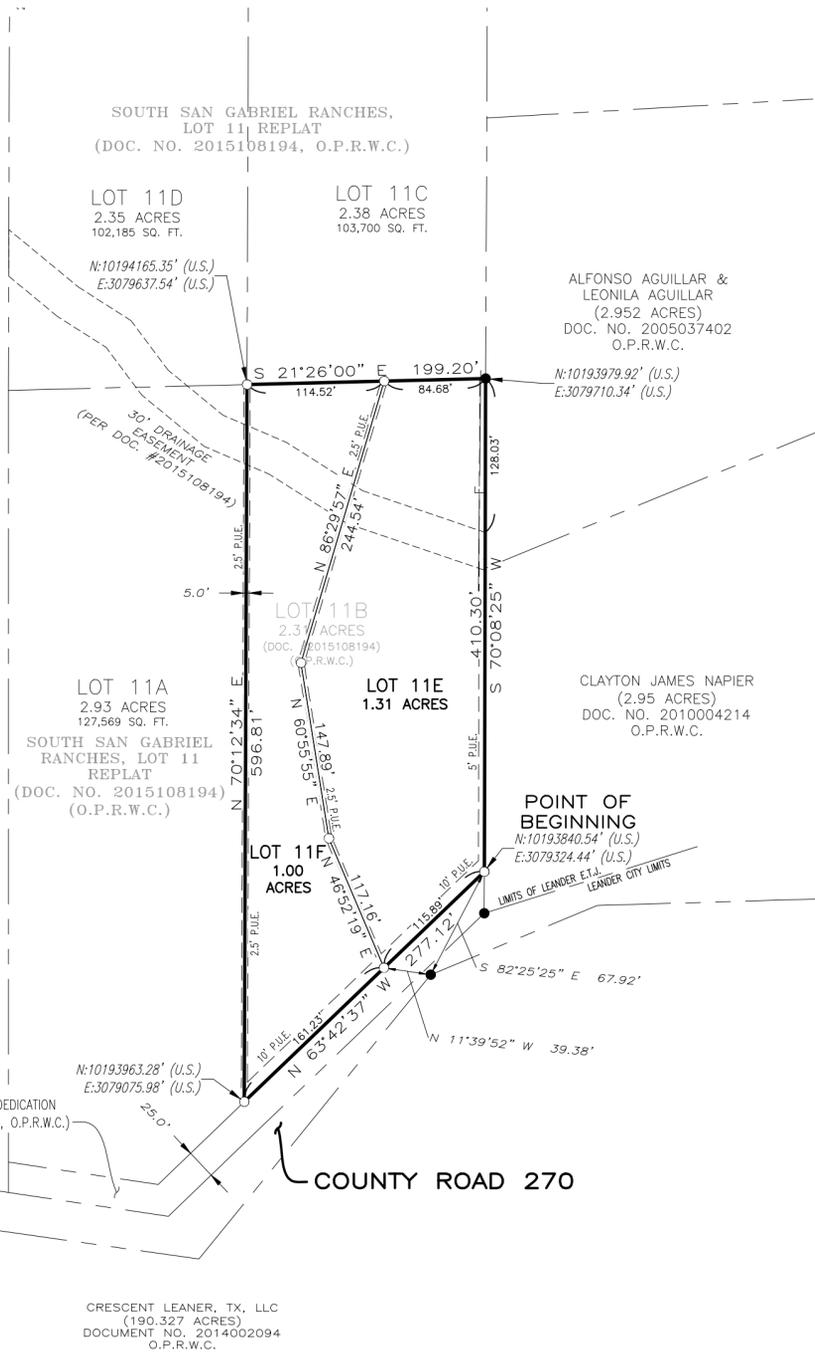
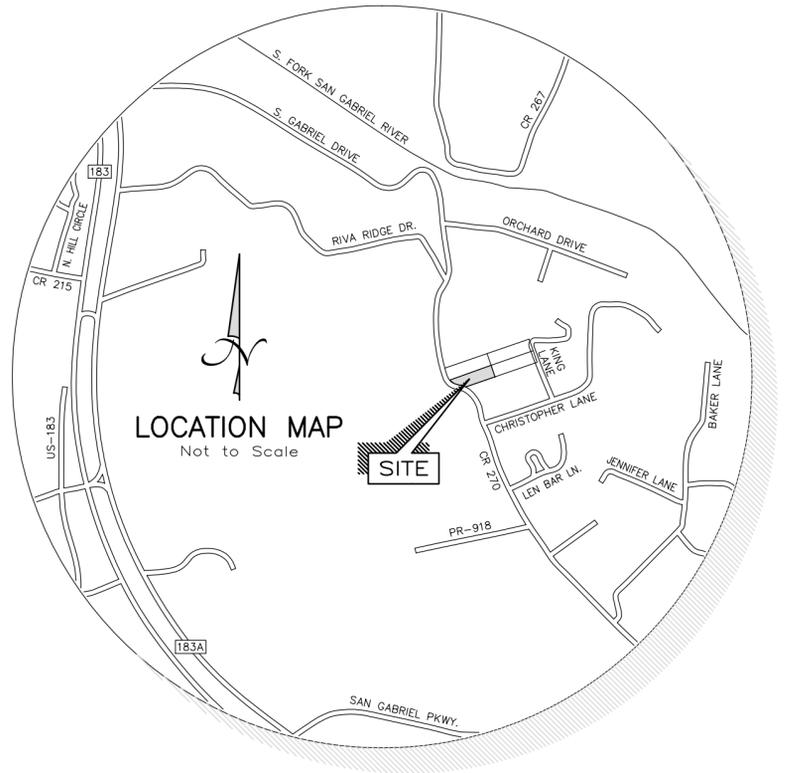
-
- Agenda Subject:** Subdivision Case 16-SFP-001: Consider action on the South San Gabriel Ranches Lot 11B Short Form Final Plat for 2.31 acres more or less; WCAD Parcel R544528; generally located ½ mile to the south of the intersection of South Gabriel Dr. and CR 270; on the east side of CR 270., Williamson County Texas.
- Background:** This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the final plat satisfies the applicable regulations without requesting any variances.
- Origination:** Applicant/Owner: John and Sheryl Vicenik
- Financial Consideration:** None
- Recommendation:** This final plat includes 2 single family residential lots. This proposal meets all of the requirements of the Subdivision Ordinance and staff recommends approval.
- Motion:** The Planning & Zoning Commission recommends approval of the final plat for the subject property.
- Attachments:** 1. Final Plat
- Prepared By:** Martin Siwek, AICP, GISP
Planner
- 03/09/2016

SOUTH SAN GABRIEL RANCHES LOT 11B REPLAT

BEING A 2.31 ACRE REPLAT OF LOT 11B, SOUTH SAN GABRIEL RANCHES, LOT 11 REPLAT (DOC. #2015108194), CITY OF LEANDER, WILLIAMSON COUNTY, TEXAS.

LEGEND	
●	1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
○	1/2" IRON ROD SET W/PLASTIC CAP STAMPED "TLS INC."
⊙	NAIL FOUND IN PAVED ROAD
—	PAVEMENT
—	DEED RECORDS OF WILLIAMSON COUNTY, TEXAS
O.R.W.C.	OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS
O.P.R.W.C.	OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS
()	RECORD INFORMATION
P.U.E.	PUBLIC UTILITY EASEMENT

SYMBOLS	DESCRIPTION
—	BOUNDARY LINES
- - -	EASEMENT LINES
- - -	NEIGHBOR LINES



BEARINGS CITED HEREON BASED ON STATE PLANE COORDINATES, GRID NORTH, CENTRAL ZONE, TEXAS NAD 83 (93).

SOUTH SAN GABRIEL RANCHES LOT 11B REPLAT

OWNERS: John G. Vicenik and Sheryl I. Vicenik
601 County Road 270
Leander, TX 78628

ACREAGE: 2.31 Acres
SURVEY: Henry Garmes Survey,
Abstract No. 269

NO. OF BLOCKS: 1
NO. OF LOTS: 2
NEW STREETS: None
SUBMISSION DATE: January 14, 2016
RESUBMISSION DATE: February 9, 2016
3rd SUBMISSION DATE: February 22, 2016
SURVEYOR: Texas Land Surveying, Inc.
3613 Williams Drive, Ste 903
Georgetown, Texas 78628
512-930-1600 - phone
512-930-9389 - fax
ENGINEER: Scheibe Consulting, LLC
TBPE Firm #13880
P.O. Box 161357
Austin, Texas 78716
512-263-0418 - phone

PERIMETER FIELD NOTES

Being 2.31 acres out of the Henry Garmes Survey, Abstract No. 269 in Williamson County, Texas, being all of Lot 11B of South San Gabriel Ranches, Lot 11 Replat, recorded as Document No. 2015108194, Plat Records, Williamson County, Texas and further described by the metes and bounds as follows:

- BEGINNING: at a 1/2 inch iron pin with plastic cap inscribed TLS INC set in the east margin of County Road 270 for the southwest corner of said Lot 11B and this tract;
- THENCE: N 63°42'37" W 277.12 feet with the west line of said Lot 11B to a 1/2 inch iron pin with plastic cap inscribed TLS INC set for the northwest corner of said Lot 11B and this tract;
- THENCE: N 70°12'34" E 596.81 feet with the north line of said Lot 11B to a 1/2 inch iron pin with plastic cap inscribed TLS INC set for the northeast corner of said Lot 11B and this tract;
- THENCE: S 21°26'00" E 199.20 feet with the east line of said Lot 11B to a 1/2 inch iron rod found for the southeast corner of said Lot 11B and this tract;
- THENCE: S 70°08'25" W 410.30 feet with the south line of said Lot 11B to the POINT OF BEGINNING.

Texas Land Surveying, Inc.

3613 Williams Drive, Suite 903 - Georgetown, Texas 78628
(512) 930-1600/(512) 930-9389 fax
www.texas-ls.com
TBPLS FIRM NO.10056200

SHEET

1
OF
2

SOUTH SAN GABRIEL RANCHES LOT IIB REPLAT

BEING A 2.31 ACRE REPLAT OF LOT 11B, SOUTH SAN GABRIEL RANCHES, LOT 11 REPLAT (DOC. #2015108194), CITY OF LEANDER, WILLIAMSON COUNTY, TEXAS.

GENERAL NOTES:

1. This subdivision is wholly contained within the Extra Territorial Jurisdiction of the City of Leander, Texas.
2. No buildings fences, landscaping or other structures are permitted within the drainage easements shown, except as approved by the City of Leander Public Works Department.
3. Property owner shall provide for access to drainage easements as may be necessary and shall not prohibit access by the City of Leander.
4. All easements on private property shall be maintained by the property owner or his/her assigns.
5. In addition to the easements shown hereon, a ten (10') foot wide public utility easement is dedicated along and adjacent to all right-of-ways and a two and a half (2.5') foot wide public utility easement is dedicated along all side lot lines. A five (5') foot wide public utility easement is dedicated along the entire southern property boundary.
6. No portion of this tract is within a flood hazard area as shown on the Flood Insurance Rate Map panel #48491C0455 E for Williamson County, Effective Sept. 28, 2014.
7. All utility lines must be located underground.
8. The monuments of this plat have been rotated to the NAD 83/93 HARN - Texas Central Zone and NAVD 88.
9. Sewer service for this subdivision will be provided by On-Site Sewage Facilities.
10. This Subdivision in subject to all general notes and restrictions appearing on the plat of South San Gabriel Ranches, Lot 11, recorded at Cabinet B, Slides 86-87 of the Plat Records of Williamson County, Texas, and the plat of South San Gabriel Ranches, Lot 11 Replat, recorded in Document No. 2015108194, Official Public Records of Williamson County, Texas.
11. No Driveway shall be constructed closer than 50' or 60% of parcel frontage, whichever is less, to the ROW of an intersecting local or collector street or 100' or 60% of parcel frontage, whichever is less, to the ROW of an intersecting arterial street.
12. Water service will be provided by Aqua Source.
13. In addition to the easements shown hereon, a ten (10') foot wide Pedernales Electric Cooperative easement is dedicated along and adjacent to all right-of-ways and five (5') foot wide along all side lot lines.

AQUA SOURCE APPROVAL:

This subdivision plat has sufficient water availability provided by Aqua Source.

Troy Bolin, _____ Date
Customer Field Services Manager

Before me, the undersigned authority, on this the _____ day of _____, 20____, personally appeared Troy Bolin, known by me to be the person whose name is subscribed to the foregoing instrument. It has been acknowledged to me that he is the representative as the water provider of the property described hereon.

Notary Public in and for the State of Texas

Printed Name or Notary and Notary Stamp

Date Notary Commission Expires

OWNER'S CERTIFICATION:

STATE OF TEXAS §
COUNTY OF WILLIAMSON §
§KNOW ALL MEN BY THESE PRESENTS;

That I, John G. Vicenik, co-owner of that certain tract of land shown hereon and described in a Deed recorded in Document No. 2015055303, Official Public Records of Williamson County, Texas, do hereby join, approve, and consent to all dedicate all additional ROW, street, alleys, easements, parks, and other open spaces to public use, or, when the subdivider has made provisions for perpetual maintenance thereof, to the inhabitants of the subdivision, I do hereby approve the recordation of this subdivision plat and dedicate to the public use forever any easements and roads that are shown hereon. This subdivision is to be known as **SOUTH SAN GABRIEL RANCHES LOT 11B REPLAT**.

I understand that it is my responsibility, not the county's responsibility, to assure compliance with the provisions of all applicable state, federal, and local laws and regulations relating to the Endangered Species Act, State Aquifer Regulations, and municipal watershed ordinances.

John G. Vicenik, Co-owner
601 County Road 270
Leander TX 78628

Before me, the undersigned authority, on this the _____ day of _____, 20____, personally appeared John G. Vicenik, known by me to be the person whose name is subscribed to the foregoing instrument. It has been acknowledged to me that she executed the foregoing instrument as the owner of the property described hereon.

Notary Public in and for the State of Texas

Printed Name or Notary and Notary Stamp

Date Notary Commission Expires

OWNER'S CERTIFICATION:

STATE OF TEXAS §
COUNTY OF WILLIAMSON §
§KNOW ALL MEN BY THESE PRESENTS;

That I, Sheryl I. Vicenik, co-owner of that certain tract of land shown hereon and described in a Deed recorded Document No. 2015055303 Official Public Records of Williamson County, Texas, do hereby join, approve, and consent to all dedicate all additional ROW, street, alleys, easements, parks, and other open spaces to public use, or, when the subdivider has made provisions for perpetual maintenance thereof, to the inhabitants of the subdivision, I do hereby approve the recordation of this subdivision plat and dedicate to the public use forever any easements and roads that are shown hereon. This subdivision is to be known as **SOUTH SAN GABRIEL RANCHES LOT 11B REPLAT**.

I understand that it is my responsibility, not the county's responsibility, to assure compliance with the provisions of all applicable state, federal, and local laws and regulations relating to the Endangered Species Act, State Aquifer Regulations, and municipal watershed ordinances.

Sheryl I. Vicenik, Co-owner
601 County Road 270
Leander TX 78628

Before me, the undersigned authority, on this the _____ day of _____, 20____, personally appeared Sheryl I. Vicenik, known by me to be the person whose name is subscribed to the foregoing instrument. It has been acknowledged to me that she executed the foregoing instrument as the owner of the property described hereon.

Notary Public in and for the State of Texas

Printed Name or Notary and Notary Stamp

Date Notary Commission Expires

WILLIAMSON COUNTY FLOOD PLAIN APPROVAL:

Based upon the representations of the engineer or surveyor whose seal is affixed hereto, and after review of the plat as represented by the said engineer or surveyor, I find that this plat complies with the requirements of Edwards Aquifer Regulations for Williamson County Floodplain Regulations. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. Williamson County disclaims any responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated within it.

Joe M. England, P.E.
Williamson County Floodplain Administrator

Date

WILLIAMSON COUNTY HEALTH DISTRICT APPROVAL:

Based upon the representations of the engineer or surveyor whose seal is affixed hereto, and after review of the plat as represented by the said engineer or surveyor, I find that this plat complies with the requirements of Edwards Aquifer Regulations for Williamson County and Williamson County On-Site Sewage Facility Regulations. This certification is made solely upon such representations and should not be relied upon for verifications of the facts alleged. The Williamson County and Cities Health District (WCCHD) and Williamson County disclaim any responsibility to any member of the public for independent verification of the representations, factual or otherwise, contained in this plat and the documents associated within it.

Deborah L. Marlow, RS, OS0029596
Assistant Deputy Director, Environmental Health Services, WCCHD

Date

ENGINEER'S CERTIFICATION:

STATE OF TEXAS §
COUNTY OF WILLIAMSON §
§KNOW ALL MEN BY THESE PRESENTS;

I, _____, Registered Professional Engineer in the State of Texas, do hereby certify that this tract IS in compliance with all applicable City of Leander Subdivision regulations and IS located within the Edwards Aquifer Contributing Zone.

Registered Professional Engineer No. _____ Date
State of Texas

SURVEYOR'S CERTIFICATION:

STATE OF TEXAS §
COUNTY OF WILLIAMSON §
§KNOW ALL MEN BY THESE PRESENTS;

I, Kenneth Louis Crider, Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correctly made from an actual survey made on the ground of the property legally described hereon, that there are no apparent discrepancies, conflicts, overlapping of improvements, visible utility lines or roads in place, except as shown on the accompanying plat, that all easements known to this surveyor, and disclosed in an Abstractor's Certificate issued July 1, 2015 by Gracy Title Company, with a file number of 01247-42886, Abstractor's Certificate issued October 3, 2015 by Gracy Title Company, with a file number of 01247-30261, and Abstractor's Certificate issued September 25, 2015 by Independence Title Company, with a file number of 01247-42886, are shown and/or noted on this survey, that this plat conforms to the City of Leander's Subdivision Ordinance, and that the corner monument shown thereon were properly placed under my supervision in accordance with the City of Leander Regulations.

TO CERTIFY WHICH, WITNESS my hand and seal at Georgetown, Williamson County,

Texas, this ____ day of _____, 20____.

Kenneth Louis Crider
Registered Professional Land Surveyor No. 5624
State of Texas

PLANNING AND ZONING APPROVAL:

Approved this the ____ day of ____, 20____A.D. at a public meeting of the Planning and Zoning Commission of the City of Leander, Texas and authorized to be filed for record by the County Clerk of Williamson County.

Sid Sokol, Chairman
Planning and Zoning Commission
City of Leander, Texas

Ellen Pizalate, Secretary
Planning and Zoning Commission
City of Leander, Texas

COUNTY CLERK'S APPROVAL:

STATE OF TEXAS §
COUNTY OF WILLIAMSON §
§KNOW ALL MEN BY THESE PRESENTS;

I, Nancy Rister, Clerk of the County Court of said County, do hereby certify that the foregoing instrument in writing, with its certificate of authentication was filed for record in my office on the ____ day of _____, 20____, A.D., at ____ o'clock, ____M., and duly recorded this the day of _____, 20____, A.D., at ____ o'clock, ____M., in the Official Public Records of said County in Instrument No. _____.

TO CERTIFY WHICH, WITNESS my hand and seal at the County Court of said County, at my office in Georgetown, Texas the date last shown above written.

Nancy Rister, Clerk County Court of Williamson County, Texas

By: _____, Deputy

Texas Land Surveying, Inc.

3613 Williams Drive, Suite 903 - Georgetown, Texas 78628
(512) 930-1600/(512) 930-9389 fax
www.texas-ls.com
TBPLS FIRM NO.10056200

SHEET

2

OF

2



EXECUTIVE SUMMARY

APRIL 14, 2016

-
- Agenda Subject:** Zoning Case 15-Z-015: Hold a public hearing and consider action on the rezoning of a parcel of land located to the south of the intersection of US 183 and the Union Pacific Railroad, and to the north of the southern city limits; 13.590 acres more or less; WCAD Parcel R031782. Currently, the property is zoned SFU-2-B (Single Family Urban). The applicant is proposing to zone the property to GC-3-B (General Commercial), Leander, Williamson County, Texas.
- Background:** This request is the first step in the rezoning process.
- Origination:** Applicant: James Knight on behalf of Robert Knight, Trustee.
- Financial Consideration:** None
- Recommendation:** See Planning Analysis.
- Motion:** APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)
- DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.
- Attachments:**
1. Planning Analysis
 2. Current Zoning Map
 3. Future Land Use Map
 4. Notification Map
 5. Proposed Zoning Map
 6. Aerial Map
 7. Letter of Intent
- Prepared By:** Martin Siwek, AICP, GISP
Planner
- 03/17/2016



PLANNING ANALYSIS

ZONING CASE 15-Z-015

Leander Commercial

GENERAL INFORMATION

Owner: Robert Knight

Current Zoning: SFU-2-B (Single-Family Urban)

Proposed Zoning: GC-3-B (General Commercial)

Size and Location: The property is generally located south of the intersection of US 183 and Union Pacific Railroad and is 13.590 acres more or less.

Staff Contact: Martin Siwek, AICP, GISP
Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	GC-3-C SFC-2-B	Developed Commercial Established Single Family Neighborhood (Horizon Park)
EAST	SFC-2-B	Established Single Family Neighborhood (Horizon Park)
SOUTH	OCL	Vacant Property
WEST	GC-3-C	Developed Commercially Zoned Property: Texas Pawn & Jewelry, Inspection Station, Zero Gravity Undeveloped Commercially Zoned Property

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:

GC – GENERAL COMMERCIAL:

Features: Any use in LC plus bar, nightclub, entertainment venues, hospital, hotel, liquor store, office/warehouse, vehicle and equipment sales, leasing and repair, furniture sales, pet shop, wholesale activities less than 3,500 sq. ft.

Intent: Development of small to large scale commercial, retail, and commercial service uses located in high traffic areas. Access to this component should be provided by an arterial street. The heaviest concentration of this component should be located at intersections of arterial streets.

SITE COMPONENT:

TYPE 3:

Features: Accessory buildings up to 30% of primary building; accessory dwellings; drive-thru service; limited outdoor display and storage; outdoor fueling and washing of vehicles; overhead service doors, no indoor parking required.

Intent:

- (1) A Type 3 site component is intended to be utilized with LO and LC use components where adjacent to less restricted districts to provide for a land use transition.
- (2) This component is intended to be utilized with residential components where accessory dwellings or additional accessory structures are appropriate and are not provided for in the Type 1 or 2 site components.
- (3) This component is intended to be combined with LO, LC, GC, HC and HI components where it is appropriate to utilize the outdoor site area for outdoor fuel sales, limited outdoor display and storage or accessory buildings.

ARCHITECTURAL COMPONENTS:

TYPE B:

Features: 85% masonry 1st floor, 50% all stories; 4 or more architectural features.

Intent:

- (1) The Type B architectural component is intended to be utilized for the majority of residential development except that which is intended as a Type A architectural component.
- (2) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions.
- (3) This component may be utilized to raise the building standards and help ensure compatibility for non-residential uses adjacent to property that is more restricted.
- (4) This component is intended for the majority of the LO and LC use components except those meeting the intent of the Type A or C architectural components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Provide a balanced mix of complementary uses that support a strong and diverse tax base.
- Position Leander as a destination for employers.

LAND USE POLICIES

CORRIDORS

- COMMERCIAL CORRIDOR

The purpose of the Commercial Corridor designation is to allow for additional commercial development along corridors already devoted to primarily commercial and office uses. The typical uses associated with this corridor include a variety of medium-intensity uses including general businesses and services, offices, restaurants, retail, professional and medical services, light industrial, flex space, storage and even some limited residential uses.

ANALYSIS:

This zoning request was previously heard before the Planning and Zoning Commission at the July 23, 2015 meeting. The applicant's request at that time was to rezone the property from SFU-2-B to GC-5-D. The applicant's request was recommended for denial by the Commission, and the applicant subsequently withdrew the request prior to its scheduled City Council meeting. The applicant scheduled a work session with the Commission on October 22, 2015 to discuss the proposed project and what criteria for the site would be of concern to the City of Leander.

The applicant is requesting to rezone the property from SFU-2-B (Single-Family Urban) to GC-3-B (General Commercial). The properties to the northeast are established single family homes within the Horizon Park Subdivision, and the properties to the northwest are developed commercial properties. The properties to the immediate east are also established single family homes of the Horizon Park Subdivision, and the properties to the immediate west are also developed commercial properties. The property adjacent and to south of this parcel is outside the City limits and is vacant.

The present use component of SFU only permits residential uses, and the applicant is seeking to rezone the property to a GC use component. The intent statements of the GC use component note that it should be located along arterial streets with the heaviest concentration being located at intersections of arterial streets. This use component permits new vehicle and major equipment sales, retail sales of goods and services, office / warehouse including painting and plumbing, manufactured housing sales, and bars and night clubs.

The property's current site component is Type 2 and is intended to be utilized primarily for residential developments or non-residential developments that are adjacent to a residential district. The Type 3 site component requested by the applicant is intended to be utilized with commercial use components where it is appropriate to utilize the outdoor site area for outdoor fuel sales, limited outdoor display and storage or accessory buildings. The table below briefly summarizes the site standards for the Type 2 and Type 3 site components.

SITE STANDARDS	TYPE 2	TYPE 3
Outdoor Display	Not Permitted	Outdoor Display 30% of the gross floor area of the primary building
Outdoor Storage and Container Storage	Not Permitted	Outdoor and Container Storage 20% of the gross floor area of the primary building.
Combination of Outdoor Display, Outdoor Storage, and Container Storage	Not Permitted	Combination is limited to a max 40% of the gross floor area of the primary building.
Entertainment Venues and Outdoor Facilities	Not Permitted	Permitted
Use of Overhead Commercial Service Doors	Not Permitted	Permitted
Outdoor Fueling & Washing	Not Permitted	Permitted
Outdoor Animal Boarding	Not Permitted	Not Permitted

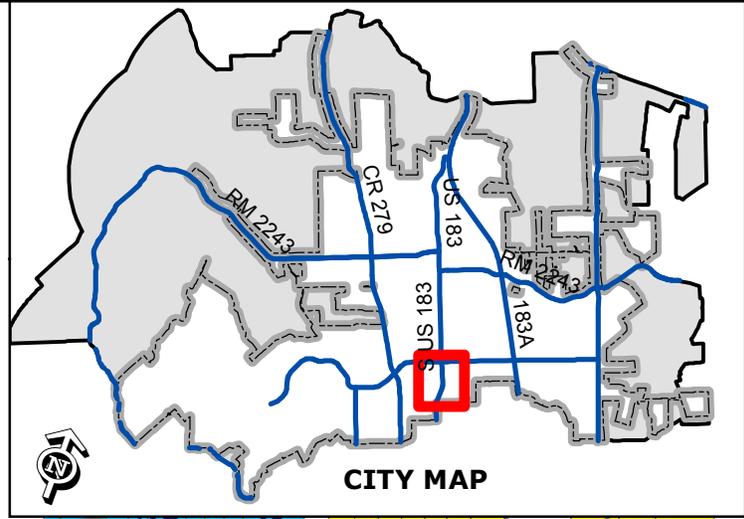
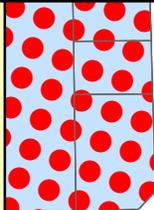
The property currently is paired with the Type B architectural component; which requires four architectural features and 85% masonry on the first floor of buildings and 50% masonry on each story thereafter. The applicant is requesting to keep the architectural component the same, which would apply the same aforementioned standards for the proposed commercial buildings. This architectural component is intended for the majority of LO and LC use components when adjacent to more restrictive districts. This component would also be appropriate for the GC use component as it has more restrictive residentially zone districts to the west. The remaining exterior wall surfaces are permitted to use wood planking and cementious-fiber planking.

This property is located within a Commercial Corridor as designated by the Future Land Use Plan. The requested zoning classification is compatible with this corridor, as it intends to allow for commercial development in areas primarily devoted to existing commercial and office uses. Permissible zoning classifications within this corridor per the Comprehensive Plan include LO, LC, GC, and PUD.

STAFF RECOMMENDATION:

Staff recommends approval of the applicant's requested GC-3-B district. The requested district would be appropriately sited as it is located within an area designated as a Commercial Corridor per the Comprehensive Plan. Additionally, the Type 3 site component restricts the amount of outdoor display and storage at a level acceptable to the corridor. The property on the west side of Hwy 183 at this location has existing zoning classifications of GC-3-C and GC-4-C, and the applicant's requested GC-3-B is consistent with these existing zoned properties. The applicant's request is in compliance with the Comprehensive Plan and the intent statements of the Composite Zoning Ordinance.

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



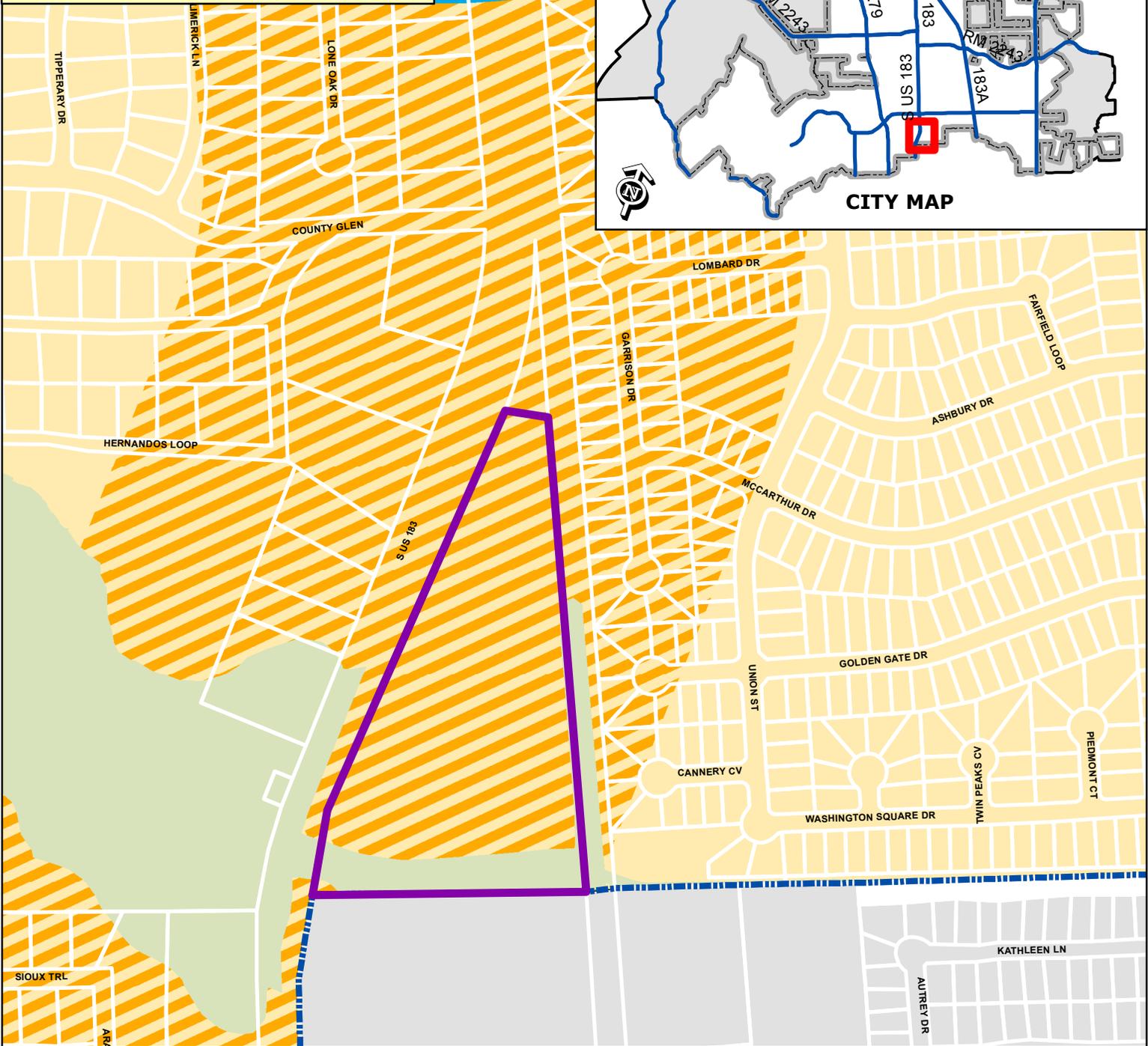
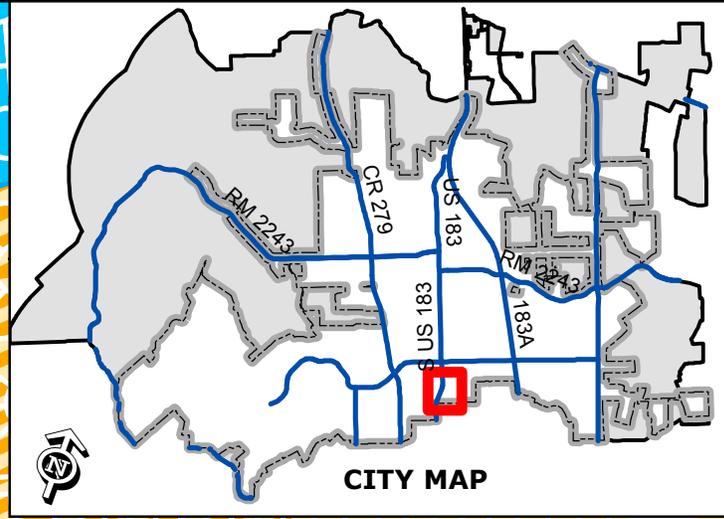
ZONING CASE 15-Z-015 Attachment #2

Current Zoning Map - Leander Commercial

Subject Property	PUD Commercial	SFR	SFT	GC
City Limits	PUD Mixed Use	SFE	SFU/MH	HC
Future Annexation Per DA	PUD Multi-Family	SFS	TF	HI
Involuntary Annexation	PUD Single-Family	SFU	MF	PUD
Voluntary Annexation	PUD Townhome	SFC	LO	
		SFL	LC	



This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



ZONING CASE 15-Z-015 Attachment #3 Future Land Use Map - Leander Commercial

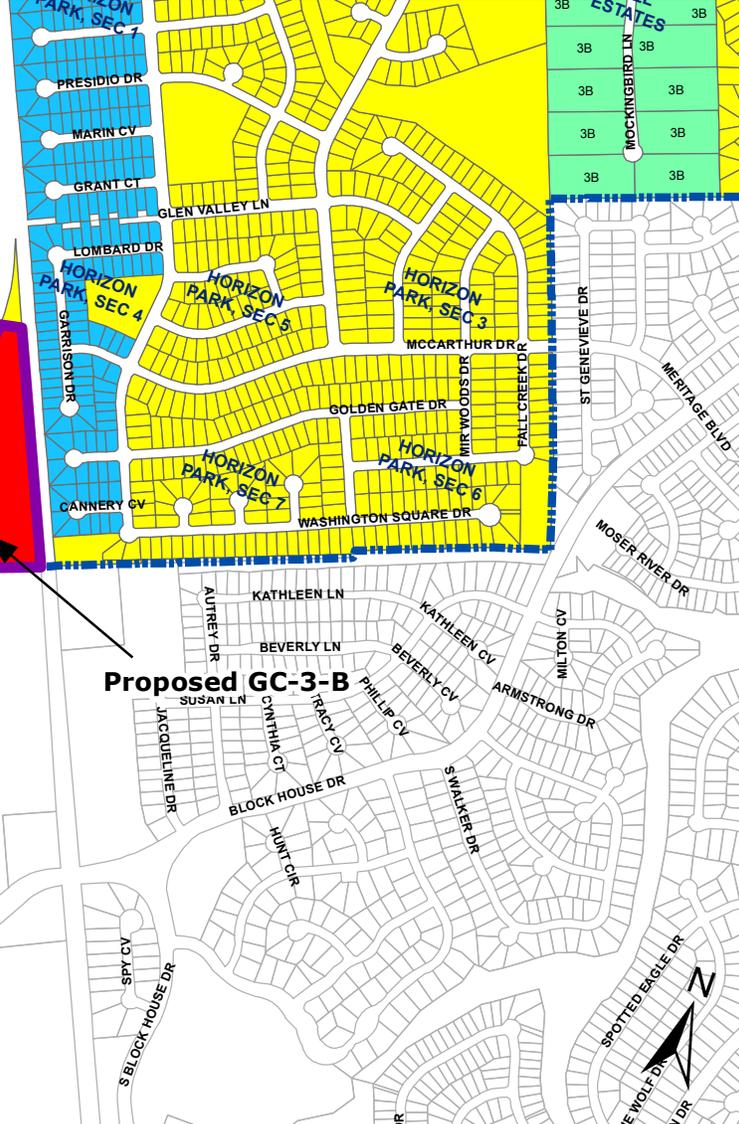
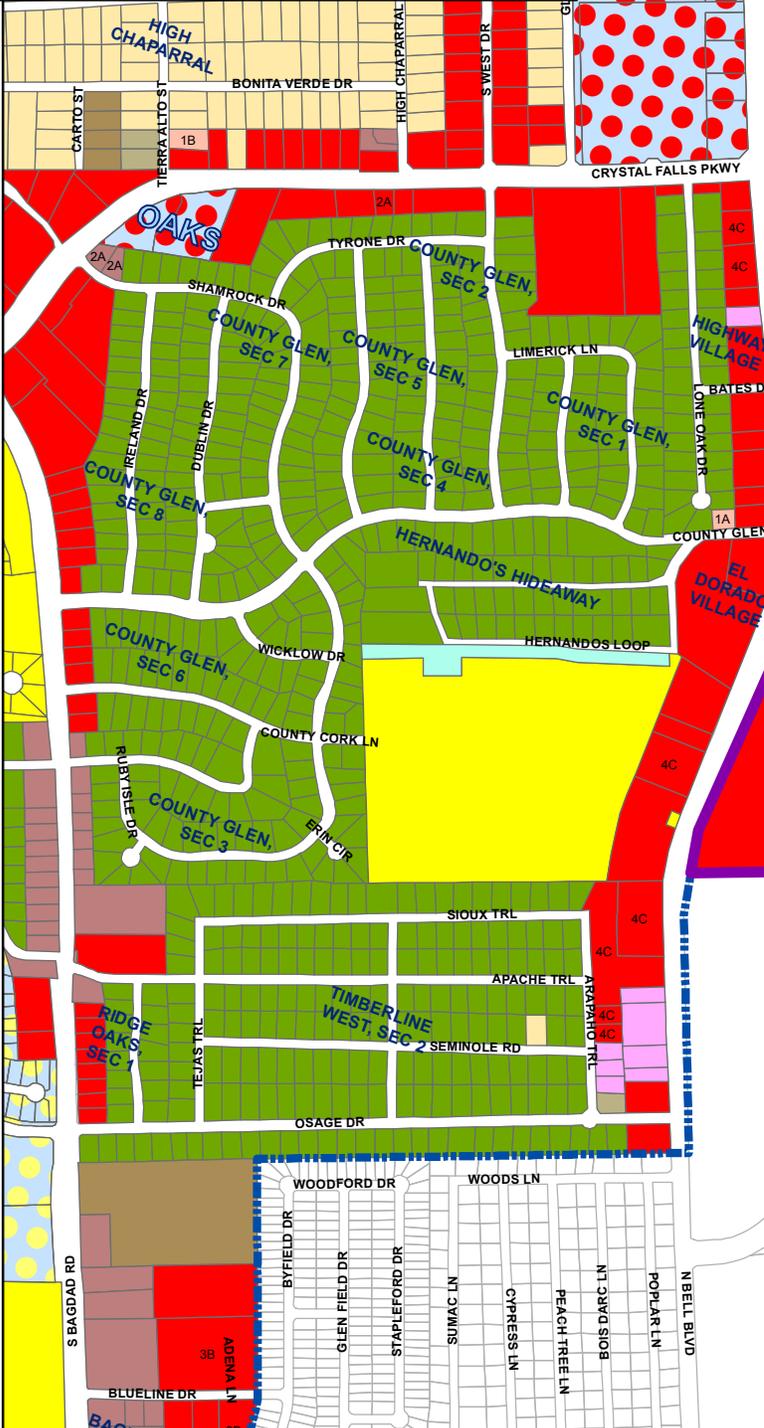
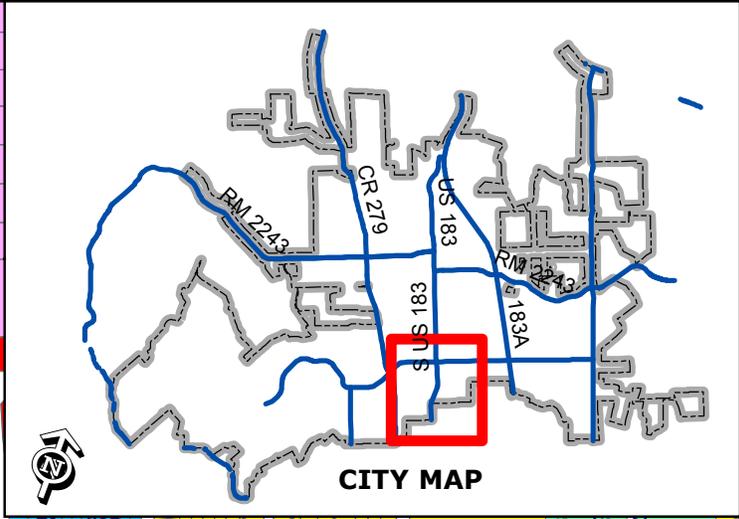
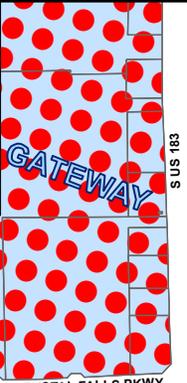
	Subject Property		Commercial Corridor		Transit Supportive Mixed Use
	City Limits		Neighborhood Center		Station Area Mixed Use
	Open Space		Community Center		Old Town Mixed Use
	Mixed Use Corridor		Activity Center		Employment Mixed Use
					Industrial District
					Neighborhood Residential





0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



Proposed GC-3-B

ZONING CASE 15-Z-015 Attachment #4

Proposed Zoning Map - Leander Commercial

	Subject Property		PUD Commercial		SFR		SFT		GC
	City Limits		PUD Mixed Use		SFE		SFU/MH		HC
	Future Annexation Per DA		PUD Multi-Family		SFS		TF		HI
	Involuntary Annexation		PUD Single-Family		SFU		MF		PUD
	Voluntary Annexation		PUD Townhome		SFC		LO		
					SFL		LC		



March 17, 2016

Robin M. Griffin
PO Box 319
Leander TX 78746

Dear Robin,

I would like request a zoning change on the 13.552 +/- acres on the south side of 183, WCAD RO31782, to GC-3-B. We would like to have the case scheduled on the April 14th P&Z agenda.

Sincerely,

DocuSigned by:

435B34D3F438412...
Jamie Knight

CC Dan Appling



EXECUTIVE SUMMARY

APRIL 14, 2016

-
- Agenda Subject:** Zoning Case 16-Z-004: Hold a public hearing and consider action on the rezoning of a parcel of land located at 801 Apache Trail; 1.50 acres more or less; WCAD Parcel R487426. Currently, the property is zoned GC-3-C (General Commercial). The applicant is proposing to zone the property to PUD (Planned Unit Development) with a zoning base district of MF-2-A (Multi-Family) Leander, Williamson County, Texas.
- Background:** This request is the first step in the rezoning and subdivision process.
- Origination:** Applicant: Dannen Development LLC (Josh Becker).
- Financial Consideration:** None
- Recommendation:** See Planning Analysis.
- Motion:** APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)
- DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.
- Attachments:**
1. Planning Analysis
 2. Current Zoning Map
 3. Future Land Use Map
 4. Notification Map
 5. Proposed Zoning Map
 6. Aerial Map
 7. PUD Notes and Conceptual Site Layout & Land Use Plan
 8. Letter of Intent
- Prepared By:** Robin M. Griffin, AICP
Senior Planner

03/17/2016



PLANNING ANALYSIS

ZONING CASE 16-Z-004

VILLAGE TOWN HOMES PUD

GENERAL INFORMATION

Owner:	Dannen Development LLC
Current Zoning:	GC-3-C (General Commercial)
Proposed Zoning:	PUD (Planned Unit Development) with base district of MF-2-A (Multi-Family)
Size and Location:	The property is located at 801 Apache Trail and includes approximately 1.50 acres.
Staff Contact:	Robin M. Griffin, AICP Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	LC-2-B	Vacant Property
EAST	SFE-2-B	Developed Single Family Homes, Timberline West Section 2 Subdivision
SOUTH	SFE-2-B	Developed Single Family Homes, Ridge Oak Sec. 1 Subdivision
WEST	GC-3-C	Developed tenant space: Young Minds Montessori Preschool

COMPOSITE ZONING ORDINANCE & SMARTCODE INTENT STATEMENTS

PUD – PLANNED UNIT DEVELOPMENT:

The purpose and intent of the Planned Unit Development (PUD) district is to design unified standards for development in order to facilitate flexible, customized zoning and subdivision standards which encourage imaginative and innovative designs for the development of property within the City. The intent of this zoning request is to allow for the development of a small scale town home project that will provide for a variety of residential housing opportunities in the area. The intent of this zoning district is to cohesively regulate the development to assure compatibility with adjacent single-family residences, neighborhoods, and commercial properties within the region.

USE COMPONENTS:**MF – MULTI-FAMILY:**

Features: Apartments (25 un./ac. if Type A; 18 un./ac. if Type B)

Intent: Development of multi-family dwelling structures. Such components are generally intended to serve as a buffer between single-family neighborhoods and more intensive uses such as commercial uses or arterial roadways. Such components are also intended to create more variety in housing opportunities and in the fabric of the community but are intended to be utilized in small areas to avoid large tracts devoted to strictly multi-family residential development. The goal is to avoid more than twenty-five (25) acres of contiguous land having a Multi-Family component. Access should be provided by a collector or higher classification street.

SITE COMPONENTS:**TYPE 2:**

Features: Accessory buildings greater of 10% of primary building or 120 sq. ft.; accessory dwellings for SFR, SFE and SFS; drive-thru service lanes; uses not to exceed 40,000 sq. ft.; multi-family provides at least 35% of units with an enclosed garage parking space.

Intent:

- (1) The Type 2 site component may be utilized with non-residential developments that are adjacent to a residential district or other more restrictive district to help reduce potential negative impacts to the more restrictive district and to provide for an orderly transition of development intensity.
- (2) The Type 2 site component is intended to be utilized for residential development not meeting the intent of a Type 1 site component and not requiring the additional accessory structure or accessory dwelling privileges of the Type 3 site component.
- (3) This component is intended to be utilized with the majority of LO and LC use components except those that meet the intent of the Type 1 or Type 3 site component or with any use requiring drive-through service lanes.
- (4) This component is generally not intended to be utilized with HC and HI use components except where such component is adjacent to, and not adequately buffered from, residential districts or other more restricted districts, and except as requested by the land owner.

ARCHITECTURAL COMPONENTS:

TYPE A:

Features: 85% masonry; 5 or more architectural features.

Intent:

- (1) The Type A architectural component is intended to be utilized for high quality developments or to provide variety as an additional option for portions of a residential development and may be utilized in or adjacent to single-family uses.
- (2) This component is intended to be utilized for single-family development that backs up to, or sides to, a major thoroughfare.
- (3) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions by applying this component to a less restrictive use or site component adjacent to a more restrictive use or site component. This standard may be utilized to help ensure compatibility for non-residential uses, multi-family, two-family, townhouse or small lot residential development with adjacent property that is more restricted.
- (4) This component is intended to be utilized for buildings requiring heights greater than those provided in other architectural components.
- (5) This component may be utilized for any high profile development, for any property in a prominent location or at an important gateway to the community.
- (6) This component is not intended to become an involuntary standard for the majority of a single-family subdivision, especially with SFR, SFE, SFS, SFU and SFC components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Provide a balanced mix of complementary uses that support a strong and diverse tax base.
- Create strong neighborhoods with a variety of housing choices.
- Encourage a range of housing types at a variety of price points.
- Encourage development that creates a sense of place through architectural design and landscaping.
- The purpose in the Mixed Use Corridor is to allow for a variety of housing types and small professional offices that complement residential development. Limited neighborhood servicing commercial uses and higher density residential are appropriate at intersections.

ANALYSIS:

The applicant has submitted a request for the Village Town Home PUD (Planned Unit Development) in order to allow for the development of a multi-family town home development. The property to the north is undeveloped and zoned for local commercial uses. The properties to the east and south are developed as single-family neighborhoods. The property to the west is developed as a day care.

The Planning & Zoning Commission heard a request for this site on April 23, 2015 for the MF-2-B (Multi-Family) district. The Commission recommended approval of the request with the following conditions:

1. A six (6') foot masonry wall is required to be constructed adjacent to the single-family development.
2. Access to the site will be provided by the existing driveway, any other driveways will be for emergency access only.
3. No parking modules, drive aisles, driveways, garages or similar facilities are permitted between the building(s) closest to the street(s) and the street frontage.

The City Council denied the request at the May 7, 2015 meeting.

The applicant is requesting the MF-2-A (Multi-Family) base zoning district with a proposed unit count of twenty (20). The units within the project will be limited to four (4) attached units and conventional apartments will not be permitted. The building height shall be limited to two (2) stories. In addition, the applicant is proposing to setback the town homes forty (40') feet from the existing residential to the east and only allow one story garages along the east side of the project.

The MF use component allows for the development of multi-family dwelling structures. This use component typically serves as a buffer between single-family neighborhoods and more intensive uses such as commercial or arterial roadways.

The requested Type 2 site component when paired with the MF use component includes the following provisions:

- At least thirty-five percent (35%) of the units are required to have at least one enclosed garage parking space and such garages are required to be leased, rented or sold with the applicable units.
- Parking areas shall be no wider than two parking modules wide.

The Type A architectural component requires that 85% of the walls are comprised of masonry. In addition, a minimum of five architectural features are required.

This application includes the following higher standards and waivers.

HIGHER STANDARDS	WAIVERS
COMPOSITE ZONING ORDINANCE	
Type A Architectural Component	-
Reduced Density	-
Height Limit	-
Additional Setback for Town Homes	
-	Multi-Family Town Homes

This property is located within a Mixed Use Corridor as identified by the Future Land Use Map in the Comprehensive Plan. Mixed Use Corridors include areas along arterials between Centers that have available land should be developed to preserve the integrity of the corridor and maintain mobility.

Typical uses within a Mixed Use Corridor include:

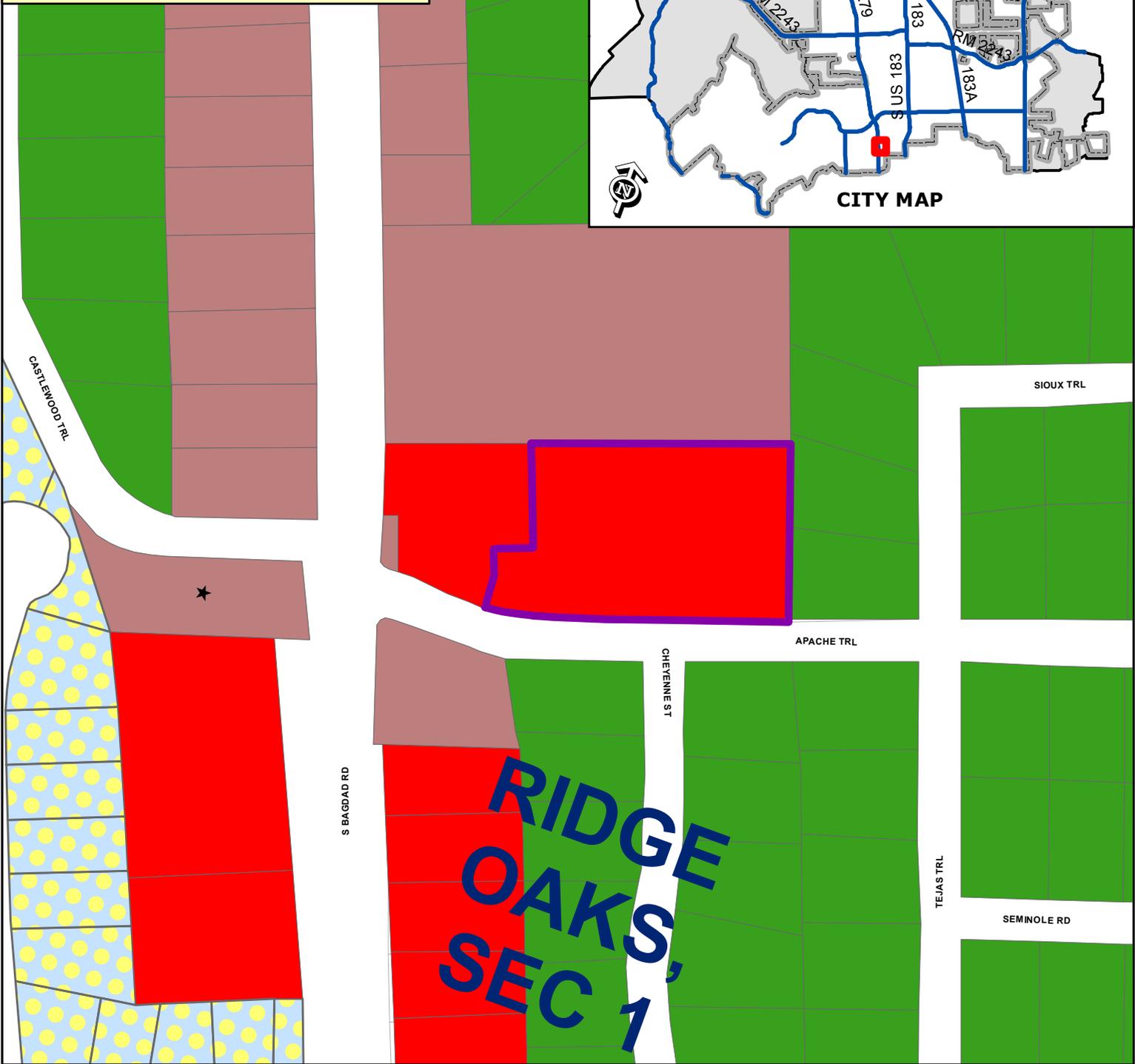
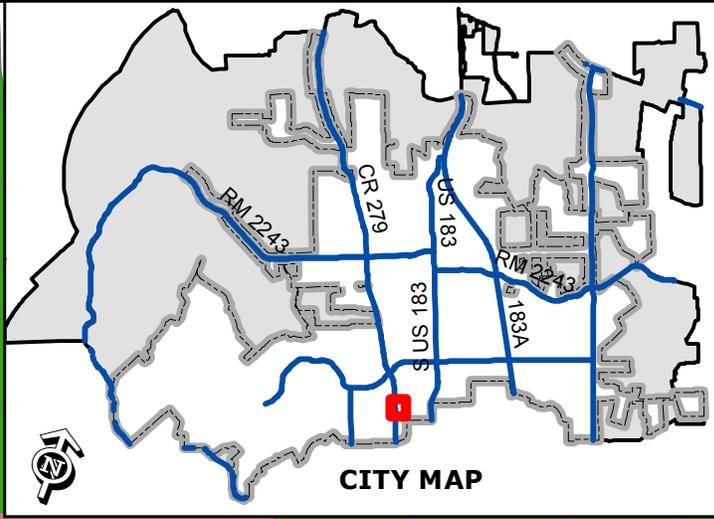
- Small-lot single-family
- Townhomes
- Duplexes and Quadplexes
- Civic and Institutional Uses (schools and places of worship)
- Small Professional Offices that complement residential development.
- Limited neighborhood-serving commercial uses and higher-density residential are appropriate at intersections.

Typical design standards included limited parking between corridors and buildings, consistent landscaping and lighting, pedestrian-friendly development, low monument style signage, and transit ready project. This project includes an internal drive and buildings fronting on Apache Trail. The parking will not be located between the homes and the street.

STAFF RECOMMENDATION:

Staff recommends approval of the requested PUD. The proposed PUD allows for the development of a multi-family town home project that will limit the overall density while maintaining high form standards. The requested PUD meets the intent statements of the Composite Zoning Ordinance and the goals of the Comprehensive Plan.

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

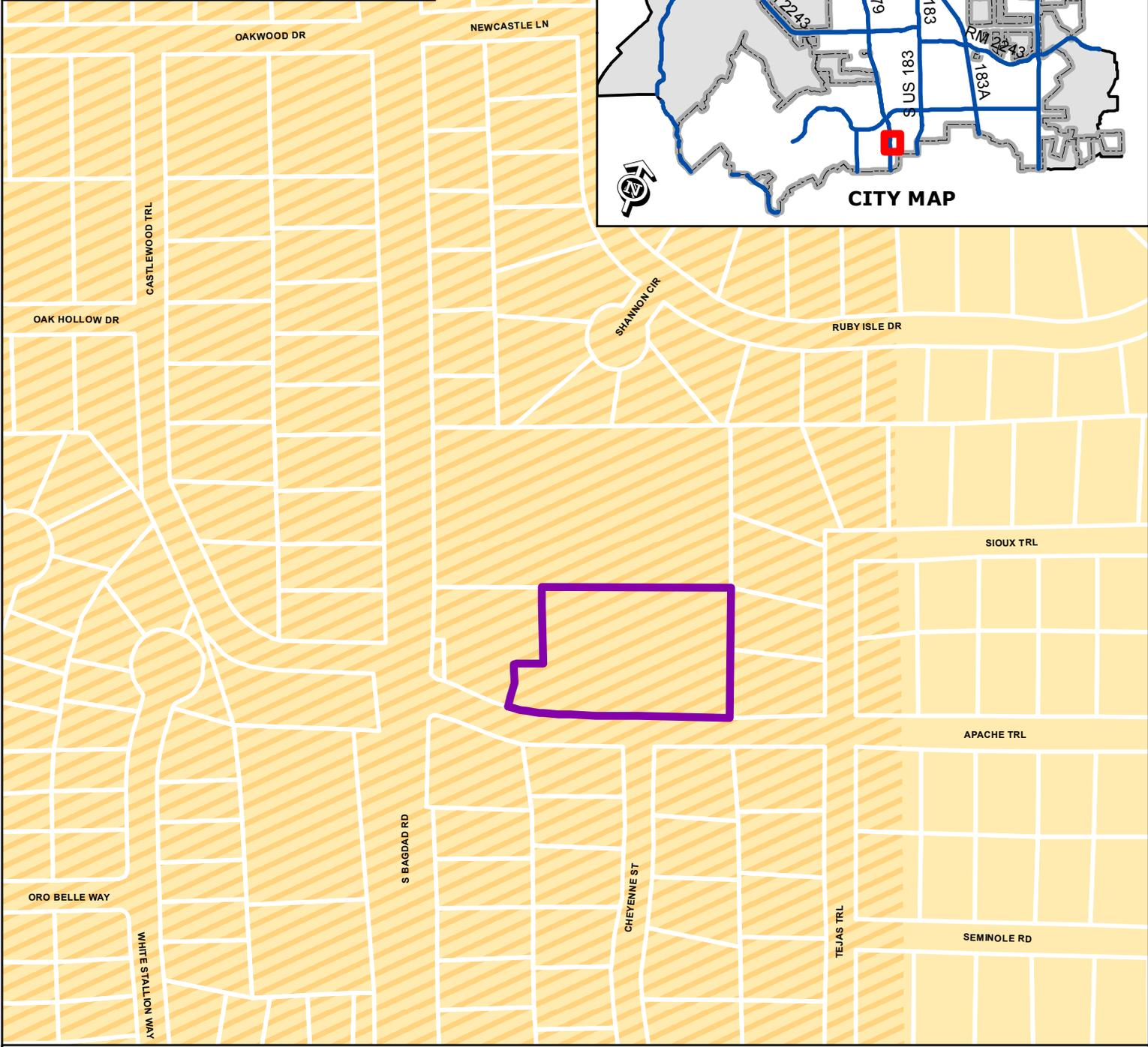
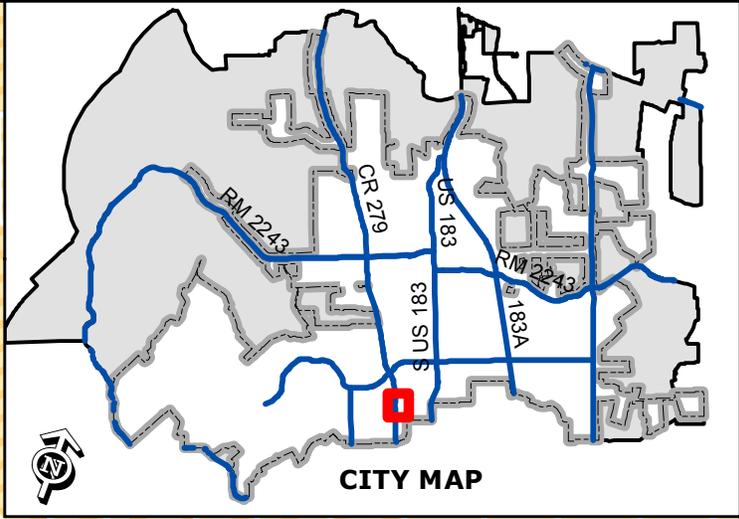


ZONING CASE 16-Z-004 Attachment #2 Current Zoning Map - Village Town Homes PUD

City Limits	SFR	SFL	LO	PUD - Commercial
Subject Property	SFE	SFT	LC	PUD - Mixed Use
SFS	SFU/MH	GC	PUD - Multi-Family	PUD - Townhomes
SFU	TF	HC	PUD - Single-Family	
SFC	MF	HI		

0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



ZONING CASE 16-Z-004 Attachment #3 Future Land Use Map - Village Town Homes PUD

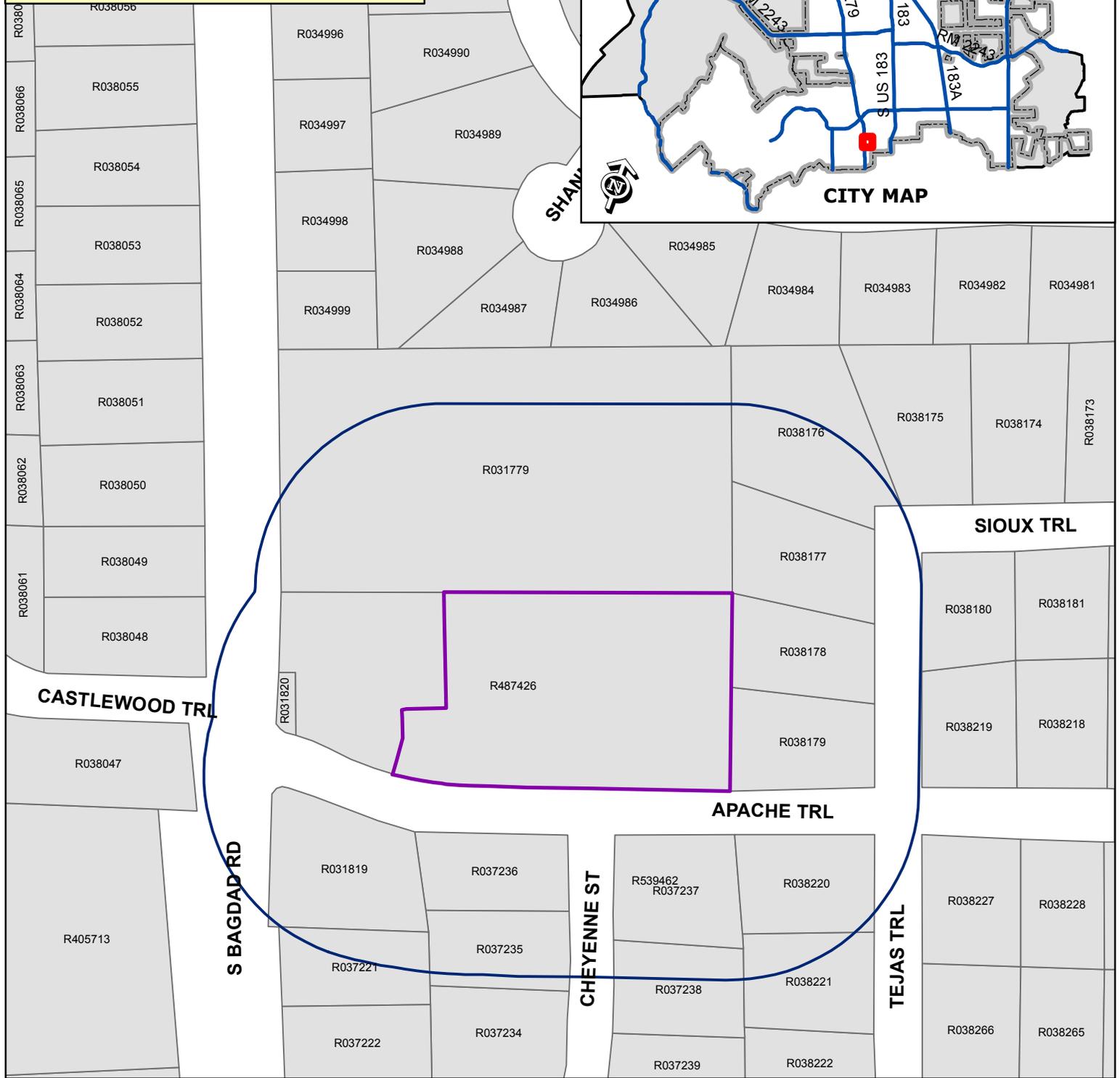
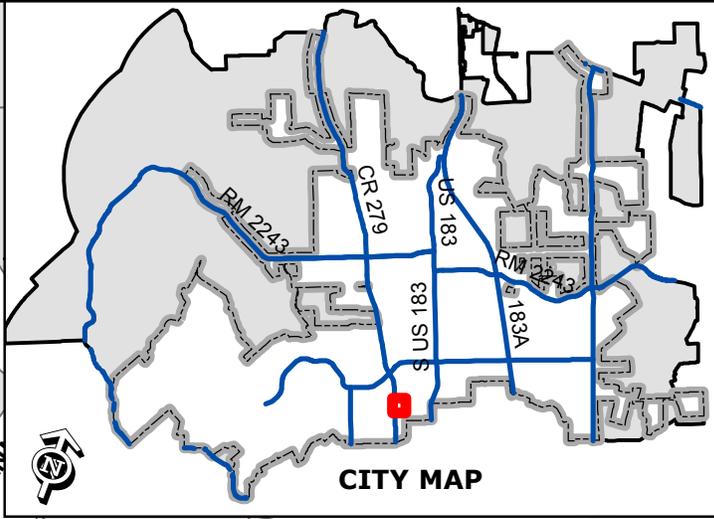
 Subject Property	 Commercial Corridor	 Transit Supportive Mixed Use
 City Limits	 Neighborhood Center	 Station Area Mixed Use
 Open Space	 Community Center	 Old Town Mixed Use
 Mixed Use Corridor	 Activity Center	 Employment Mixed Use
	 Industrial District	
	 Neighborhood Residential	





0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

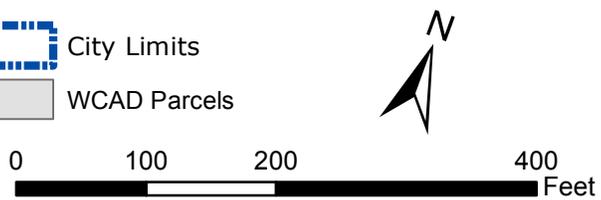


ZONING CASE 16-Z-004

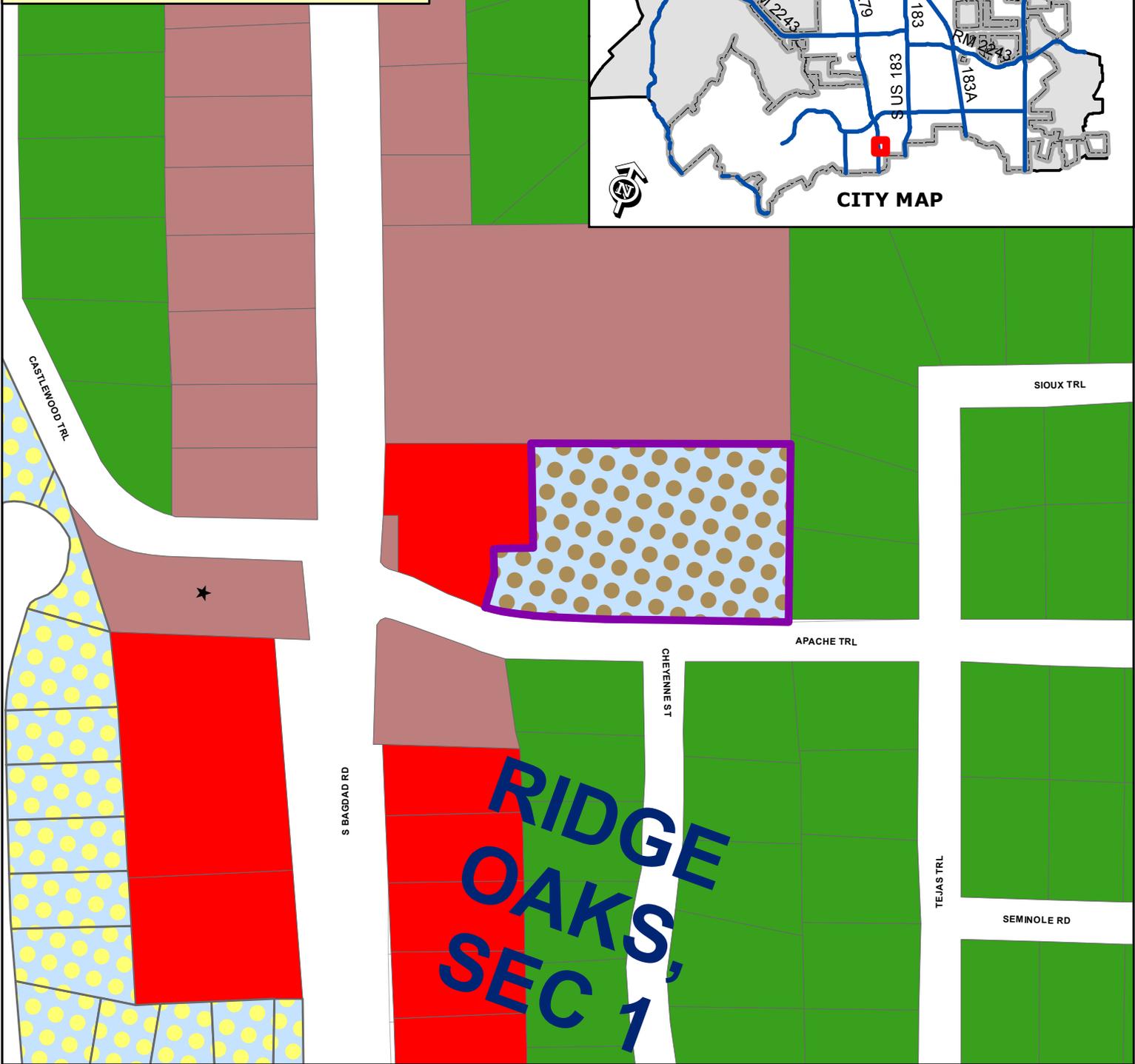
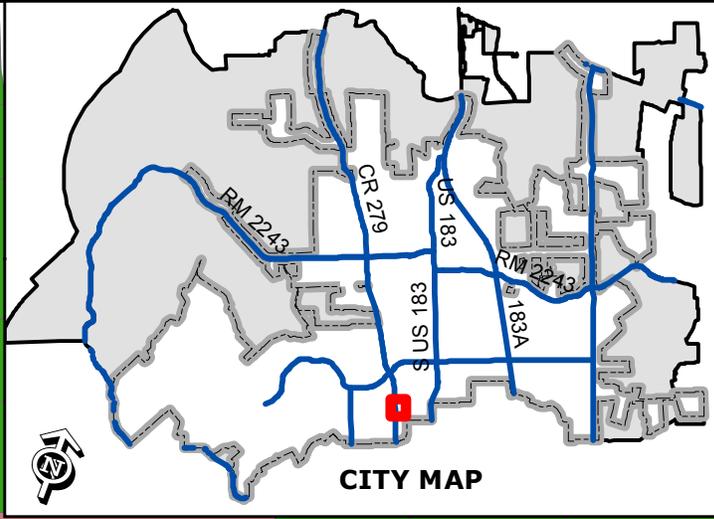
Attachment # 4

Notification Map
Village Town Homes

-  Public Notification Boundary
-  Subject Property
-  City Limits
-  WCAD Parcels



This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

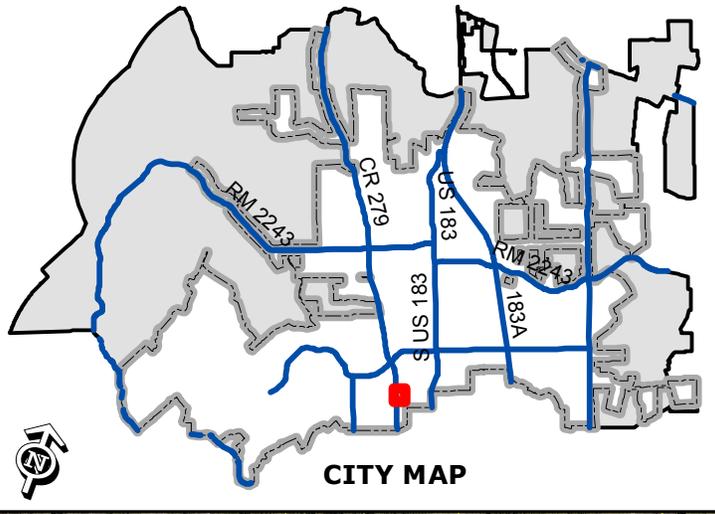


ZONING CASE 16-Z-004 Attachment #5 Proposed Zoning Map - Village Town Homes PUD

Subject Property	SFR	SFL	LO	PUD - Commercial
City Limits	SFE	SFT	LC	PUD - Mixed Use
SFS	SFU/MH	GC	PUD - Multi-Family	PUD - Townhomes
SFU	TF	HC	PUD - Single-Family	
SFC	MF	HI		

0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



ZONING CASE 16-Z-004 Attachment #6

Aerial Exhibit - Approximate Boundaries
Village Town Homes PUD



-  Subject Property
-  City Limits

EXHIBIT A

Village Townhomes – PUD

A. Purpose and Intent

The Village Townhomes PUD is comprised of 1.50 acres, as described in Exhibit D (Field Notes). The development of this property is a planned townhome community.

B. Applicability and Base Zoning

All aspects regarding the development of this PUD shall comply with the City of Leander Composite Zoning Ordinance, except as established in this exhibit, titled Exhibit A. For the purpose of establishing development standards for the PUD, the MF-2-A (Multi-Family) district has been selected.

C. Conceptual Site Layout and Land Use Plan

Exhibit B attached is a conceptual site layout and land use plan intended to visually convey the design intent for the Village Townhomes community. The design of the community is not final, and is subject to refinement during the platting and site planning stages. This PUD zoning document does not constitute plat or site plan approval of the attached plan.

D. Allowable Use

1. The use shall be attached single-family townhome residential development.
2. The unit size shall be a minimum of 900 square feet per attached unit. Patios (covered or uncovered) and decks are not included in this dimension.
3. The maximum unit count shall be limited to 20 units.
4. The building height of all unit shall be limited to 2-stories in height.
5. A maximum of 4 attached units may be connected.

E. Building Envelope Design Standards

The Village Townhomes development will comply with the Development Standards set forth in the Table below for a condo regime site plan on private drives.

	Building Width	Building Setbacks	Paving Setbacks
Unit Width (minimum unit width)	20 ft.	-	-
Front Setback (from public streets)	-	15 ft.	20 ft.
Building Setback (from single-family residential homes)	-	40 ft.*	10 ft.
Perimeter Setback (minimum)		10 ft.	5 ft.
Building Separation (minimum)		10 ft.**	-

* *Setback only applies to habitable buildings. Single Story Garages and surface parking will be allowed within the 40 ft setback, but no closer than 10 ft of the property line*

** *Eave overhang is not included in calculations for minimum building separation. A minimum of six feet clear zone between building roof lines will be provided.*

F. Private Drives

1. Minimum centerline radius for private drives is 37.5 feet along tangent sections. Private drives will have a 20 or 25 foot wide pavement width measured from face of curb to face of curb (unless the Fire Department has additional requirements) with 18 to 24 inch curb and gutter (which may also include mountable curb or stand up curb). This PUD does not waive any Fire Code requirements. The drive width is required to be 26 feet wide where a fire hydrant is located (30 foot bump-outs is permitted; no parking allowed). Fire hydrants are required to be within 100 feet of an FDC (fire department connection) of each sprinklered building. FDC's are required on each building or remotely located on the site along the 26 foot drive (bump-out).

G. Architectural Criteria

1. All townhomes shall comply with Article VII Architectural Components and Article VIII Architectural Standards, Type A of the Composite Zoning Ordinance unless modified herein. For the purposes of this PUD, private drives shall constitute streets.
2. The front elevations shown in Exhibit C shall front on Apache Trail. Parking shall not be permitted between the homes and Apache Trail.
3. All elevations shall substantially conform to the architectural style shown in Exhibit C.

H. Garage and Parking Requirements

1. All garages associated with townhomes shall comply with Article VIII Architectural Standards of the Composite Zoning Ordinance unless modified herein.
2. The required number of garages shall comply with the multi-family standards listed in Article V, Section 2 of the Composite Zoning Ordinance.

I. Lighting

Street lighting is required at drive intersections with public streets. Street lighting is optional in the interior of the project.

J. Sidewalks

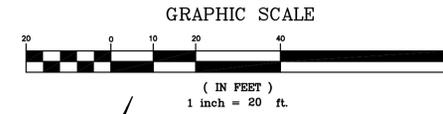
Sidewalks are not required in the interior of the project, however, walkways will be provided as pedestrian connection (which may be concrete or crushed granite) within the project itself. Sidewalks will be required along adjacent ROW.

K. Landscape

This project shall comply with the applicable Landscape Requirements listed in Article VI of the Composite Zoning Ordinance in compliance with the multi-family provisions.

**EXHIBIT B
CONCEPTUAL SITE LAYOUT & LAND USE PLAN**

THIS PLAN IS CONCEPTUAL. THE LAYOUT & STANDARDS HAVE NOT BEEN REVIEWED BY STAFF. THE SUBDIVISION ORDINANCE & TRANSPORTATION CRITERIA MANUAL REGULATIONS APPLY



NO.	DATE	REVISION	BY
NOT FOR CONSTRUCTION			

THIS DOCUMENT IS RELEASED FOR REVIEW AND COORDINATION ONLY BY TEXAS R.P.E. GARY ELI JONES # 79198 ON THE DATE SHOWN. THIS DOCUMENT SHALL NOT BE USED FOR CONSTRUCTION. Jan 29, 2016

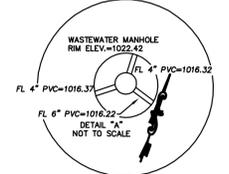
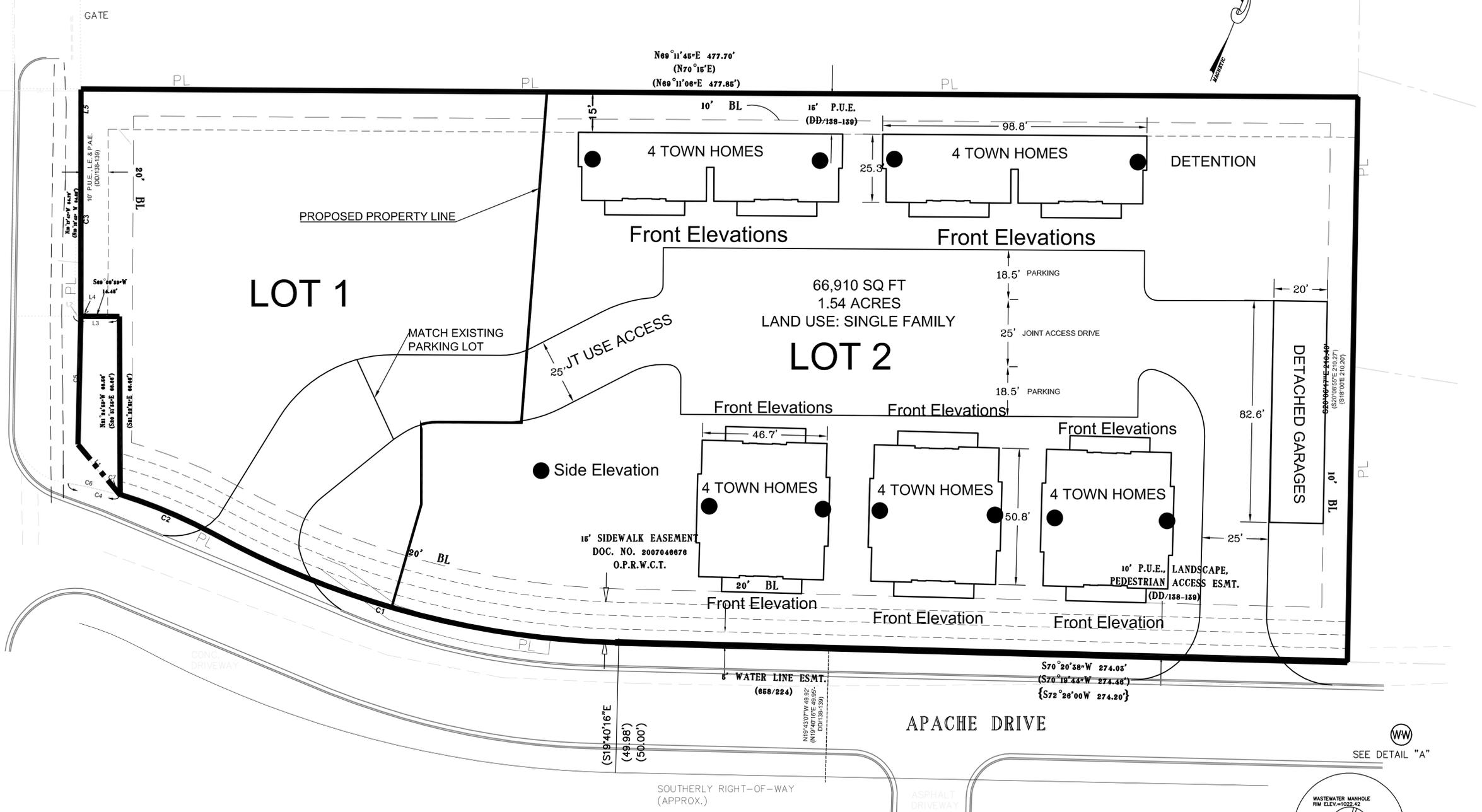
THE FIRM NO. 10867

 CARTER ENGINEERING SERVICES, INC.
 700 THERESA COVE, CEDAR PARK, TX 78613
 512-918-0815 (F) 512-532-0580

CITY OF LEANDER JURISDICTION, WILLIAMSON COUNTY, TX
THE VILLAGE TOWN HOME ADDITION
 APACHE DRIVE

DRAWING SCALE:	HORIZ. =	VERT. =
SURVEYED:	WALKER	
FILE NAME:	VILLAGE	
DATE:		
DRAWN:	CTEI	
DESIGNED:	CTEI	

SHEET	1
	9
	1



SEE DETAIL "A"

SOUTHERLY RIGHT-OF-WAY (APPROX.)

APACHE DRIVE

LOT 1

LOT 2

4 TOWN HOMES

4 TOWN HOMES

DETENTION

Front Elevations

Front Elevations

Front Elevations

Front Elevations

Front Elevations

4 TOWN HOMES

4 TOWN HOMES

4 TOWN HOMES

Front Elevation

Front Elevation

Front Elevation

Side Elevation

16' SIDEWALK EASEMENT
 DOC. NO. 2007046678
 O.P.R.W.C.T.

10' P.U.E., LANDSCAPE,
 PEDESTRIAN ACCESS ESMT.
 (DD/158-159)

6" WATER LINE ESMT.
 (868/224)

S70°20'38"W 274.03'
 (S70°18'44"W 274.48')
 {S72°28'00"W 274.20'}

Proposed Property Line bearings:
 N69°11'45"E 477.70' (N70°15'E)
 (N69°11'08"E 477.85')

10' P.U.E. & P.A.E.
 (DD/135-139)

See '04'00'00' W 34.45'

Min. '10'00'00' W 34.45'
 (See '04'00'00' W 34.45')

16' SIDEWALK EASEMENT
 DOC. NO. 2007046678
 O.P.R.W.C.T.

CONC. DRIVEWAY

(S18°40'16"E
 (49.98')
 (50.00')

N19°43'07"W 49.92'
 (N19°40'16"E 49.95')
 (DD/135-139)

ASPHALT DRIVEWAY

FL 4" PVC=1016.37
 FL 4" PVC=1016.32
 FL 6" PVC=1016.22
 DETAIL "A"
 NOT TO SCALE

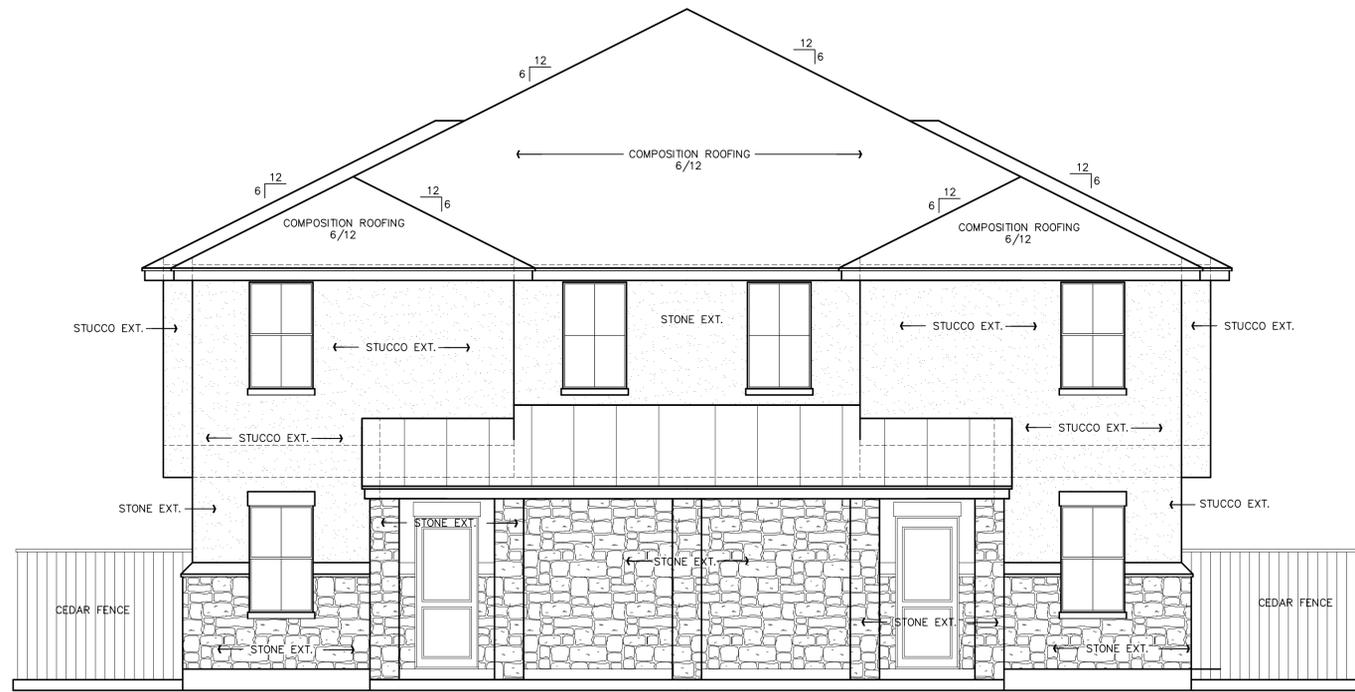
THE VILLAGE ADDITION
801 APACHE TRAIL
Leander, TX 78641

DESIGN ORIGINALS of Texas
home design center

10715 RR N 1620, STE. 515
AUSTIN, TX, 78726
OFFICE 512/351-1775

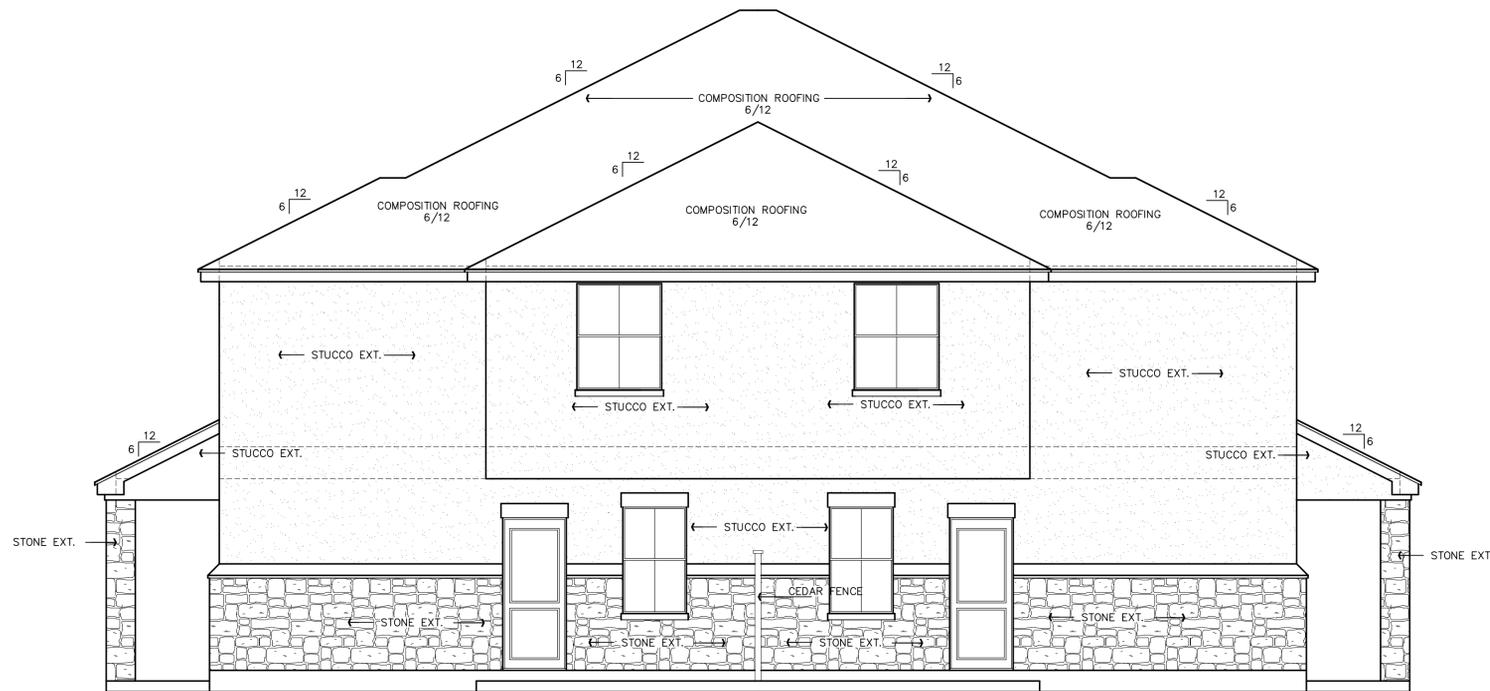
**MONTERREY
BROTHERS**

JOB # A9875
DATE: 10-11-15
REVISION:
DRAWN BY: JCD/MSD



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"

To whom it may concern:

Dannen Development is improving the remaining 1.5 acres of the 2.13-acre lot located at the northeast corner of Bagdad Road and Apache Trail. The property's current zoning is General Commercial and sits between an existing 2500 square foot commercial building and a residential subdivision. Young Minds Montessori Preschool is the currently occupying the commercial building and would like to remain in that location for the foreseeable future. The existing building and parking lot occupy approximately .61 acres of the 2.13-acre lot. It is our intent to improve the remaining 1.5 acres.

This property is currently zoned General Commercial which allows for uses such as Liquor stores, car lots, hotels, office warehouse and boarding houses to mention a few. The site plan approval process for Office Warehouse was initiated but never finalized because the current owners don't feel like office warehouse is conducive to the neighborhood feel that currently exists. A zone change to multi-family was proposed and unanimously recommended by the Planning and Zoning Commission, but was met with opposition and denied by City Council. After reviewing the concerns of the neighbors, we would like to zone the property as a PUD in order to alleviate the concerns expressed by the neighbors. The concerns expressed by the neighbors were:

1. Traffic
2. Visibility and transition to neighboring properties
3. Density and type of housing
4. Socioeconomic factors related to new residents

We have done our best to address all of these concerns through our PUD request.

The neighboring property owners expressed traffic as a concern. Given that the corner of Bagdad and Apache is currently zoned commercial, but used as a preschool, any of the uses mentioned above would be too intense and generate not only excessive traffic, but also the wrong type of traffic. Semi-trucks, delivery drivers, box vans and employees should not be filtered into a residential neighborhood throughout the day. A residential use would not only generate less traffic, it would be local residents traveling to and from work and school just as the existing traffic does.

Visibility and transition to neighboring properties: We agree with the city planning which calls for some type of transition between intense commercial use and residential neighborhoods. Currently there is an intense commercial zoning which abuts a residential neighborhood. This is our primary reason for seeking a residential use. We have also set forth height restrictions limiting our homes to 2-story maximum, just like the neighboring residential homes. Our

setback restrictions have limited habitable structures to 40 feet from the existing lot line on the East side of the property.

Density and type of housing: Though we are requesting an underlying zoning that would allow for 18 to 25 units to the acre, we are requesting a maximum density of 15 units per acre while abiding by an architectural standard that would allow for up to 25 units to the acre. We are also building townhomes, which we feel will be a more appropriate transition from the current commercial zoning to the single family residential zoning.

Socioeconomic factors related to new residents: As property owners, just like the city, we are not allowed to discriminate based on socioeconomic factors. That being said, we are building a townhome community and will not be constructing any section 8, tax credit or any other type of government subsidized housing.

Along with our attempt to address and alleviate the concerns of the neighboring property owners, we have taken the opportunity to sit down with staff and address some of the concerns of the city. Our goal is to work with Leander and our neighbors to make sure our project is an asset to the community.

Thank you for your consideration on this matter,

Josh Becker

Managing Member Dannen Development



EXECUTIVE SUMMARY

APRIL 14, 2016

Agenda Subject: Zoning Case 16-TOD-Z-005: Hold a public hearing and consider action on the rezoning of several tracts of land generally located to the southwest of the intersection of San Gabriel Pkwy & US 183; 151.2 acres more or less; legally described as: Oak Creek, Phase 1, Sections 1 & 2; Oak Creek, Phase 2, Sections 1-3; Oak Creek, Phase 5 and WCAD Parcels R540162, R529009; R529004, R529007, R524552, R529010, and R542832. Currently, the property is zoned PUD (Planned Unit Development) with the base zoning districts of SFU-2-B (Single-Family Urban), SFC-2-B (Single-Family Compact), SFL-2-B (Single-Family Limited), SFT-2-B (Single-Family Townhouse), and MF-2-B (Multi-Family) and the applicant is proposing an amendment to the PUD to increase the residential density allowed within the properties located on the east side of West Broade Street, Leander, Williamson County, Texas.

Background: This request is the first step in the rezoning process.

Origination: Applicant: Mark Baker on behalf of Sentinel Cotter Leander LLC, Castlerock Communities L.P., Megatel Homes Inc, or its Affiliates, and Pacesetter Homes, LLC (Tom Lynch, President).

Financial Consideration: None

Recommendation: See Planning Analysis.

Motion: APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)

DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.

Attachments:

1. Planning Analysis
2. Current Zoning Map
3. Future Land Use Map
4. Notification Map

5. Proposed Zoning Map
6. Aerial Map
7. PUD Notes and Conceptual Site Layout & Land Use Plan
8. Letter of Intent

Prepared By: Robin M. Griffin, AICP
Senior Planner

04/05/2016



PLANNING ANALYSIS

ZONING CASE 16-TOD-Z-005 OAK CREEK PUD AMENDMENT

GENERAL INFORMATION

- Owner:** Sentinel Cotter Leander, LLC
Castlerock Communities L.P.
Megatel Homes Inc, or its Affiliates
Pacesetter Homes, LLC (Tom Lynch, President).
- Current Zoning:** PUD (Planned Unit Development)
- Proposed Zoning:** PUD (Planned Unit Development) Amendment
- Size and Location:** The property generally located to the southwest of the intersection of San Gabriel Pkwy & US 183 and includes approximately 151.2 acres.
- Staff Contact:** Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	PUD/TOD	Undeveloped Land located within the TOD (Future Maya Vista and Hill Country Bible Church)
EAST	PUD/TOD	Undeveloped Land located within the TOD
SOUTH	SFU-2-B SFC-2-B GC-3-C PUD/TOD	Established Single-Family Homes Single-Family Homes under construction (Northside Meadow) Undeveloped Property zoned for commercial Plain Elementary School
WEST	SFU-2-B	Established Single-Family Homes (Benbrook Ranch)

COMPOSITE ZONING ORDINANCE & SMARTCODE INTENT STATEMENTS

PUD – PLANNED UNIT DEVELOPMENT:

The purpose and intent of the Planned Unit Development (PUD) district is to design unified standards for development in order to facilitate flexible, customized zoning and subdivision standards which encourage imaginative and innovative designs for the development of property within the City. The intent of this zoning request is to provide for the design of a development which permits a mixed-residential community. The intent of this zoning district is to cohesively regulate the development to assure compatibility with adjacent single-family residences, neighborhoods, and commercial properties within the region.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Create strong neighborhoods with a variety of housing choices.
- Encourage a range of housing types at a variety of price points.
- Encourage development that creates a sense of place through architectural design and landscaping.
- Neighborhood Residential is intended to accommodate a variety of housing types. The density and mix of housing types is dependent on a number of suitability factors including environmental constraints (such as steep topography and floodplain), the availability of sewer infrastructure, proximity to neighborhood and community centers, existing and planned parks and recreation sites, schools, and the road network.
- The purpose in the Mixed Use Corridor is to allow for a variety of housing types and small professional offices that complement residential development. Limited neighborhood servicing commercial uses and higher density residential are appropriate at intersections.

ANALYSIS:

The applicant is requesting to amend the Oak Creek PUD (Planned Unit Development) district in order to increase the density allowed within the parcels designated as SFT (Single-Family Townhouse) and MF (Multi-Family) located on the east side of West Broade Street. This PUD was previously approved by the City Council on July 17, 2014.

The proposed changes to the PUD will allow for multi-family development on the eastern portion of Oak Creek. The buildings will be required to front on to Broade Street and South Brook Drive. Surface parking and garage areas will be placed internal to the site. The apartments will be required to comply with the Type A architectural component. This component requires that 85% of the building is comprised of masonry.

The requested Type 2 site component when paired with the MF use component includes the following provisions:

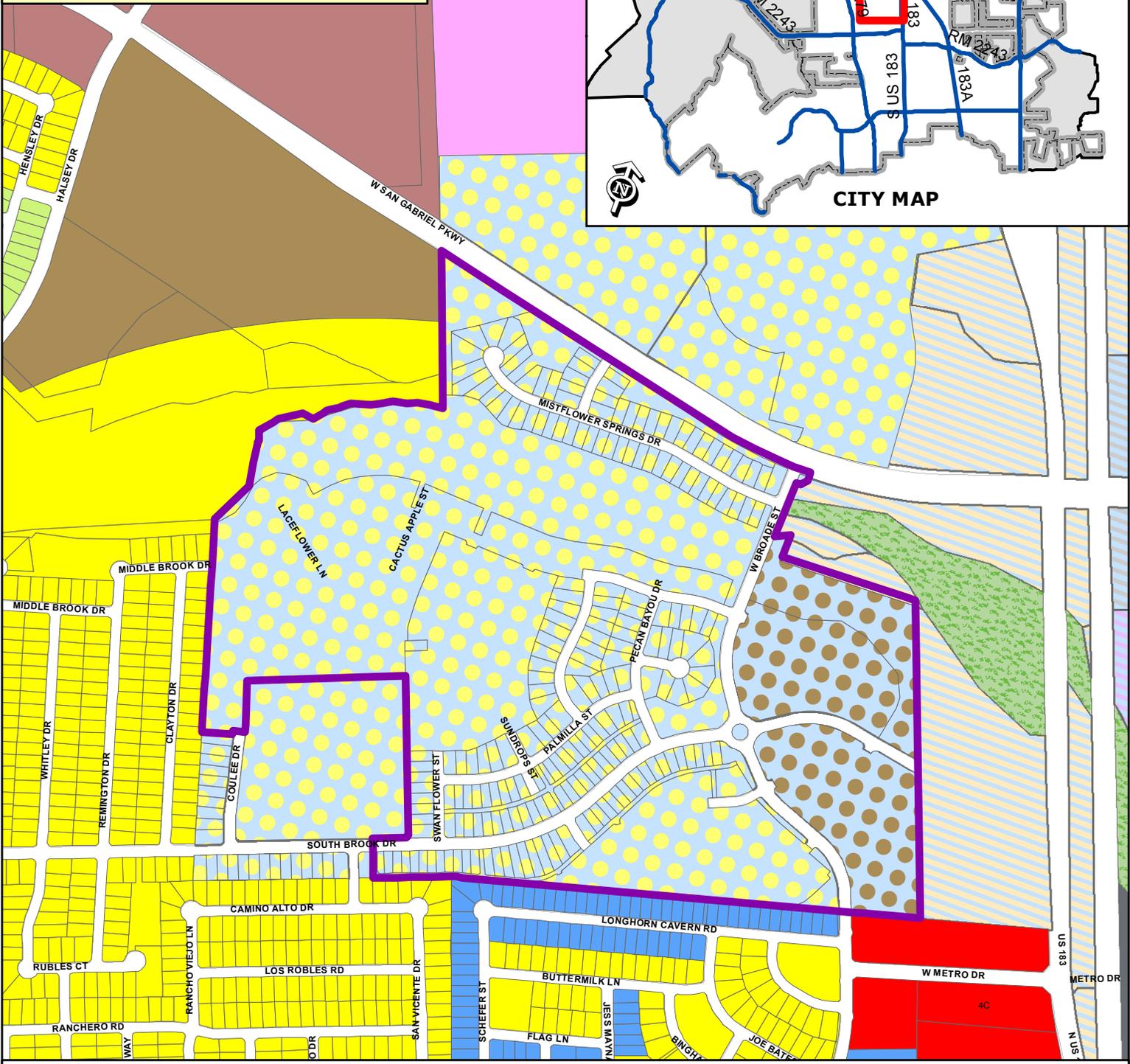
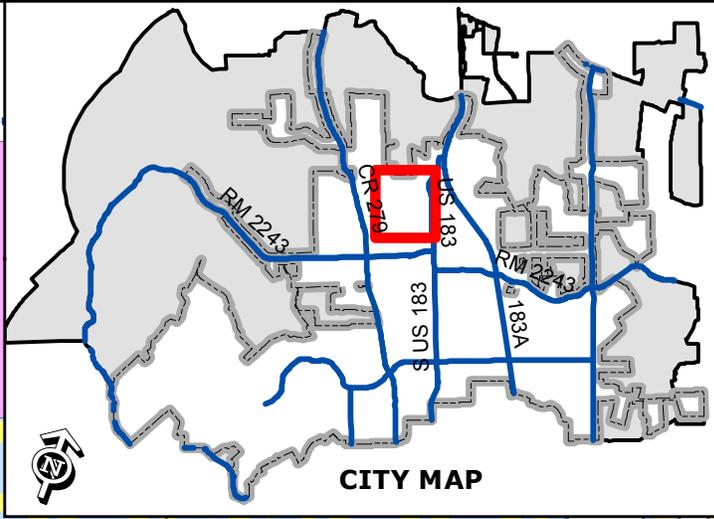
- At least thirty-five percent (35%) of the units are required to have at least one enclosed garage parking space and such garages are required to be leased, rented or sold with the applicable units.
- Parking areas shall be no wider than two parking modules wide.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed PUD Amendment. This amendment allows for an increase in the density permitted within the parcels designated as SFT (Single-Family Townhouse) and MF (Multi-Family). The proposal will require that the buildings are placed along the street frontage and the parking and garages are located internal to the site. This provisions will promote a pedestrian friendly street scene while allowing for a higher density development.

The proposal complies with the goals of the Comprehensive Plan and the intent statements of the Composite Zoning Ordinance.

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



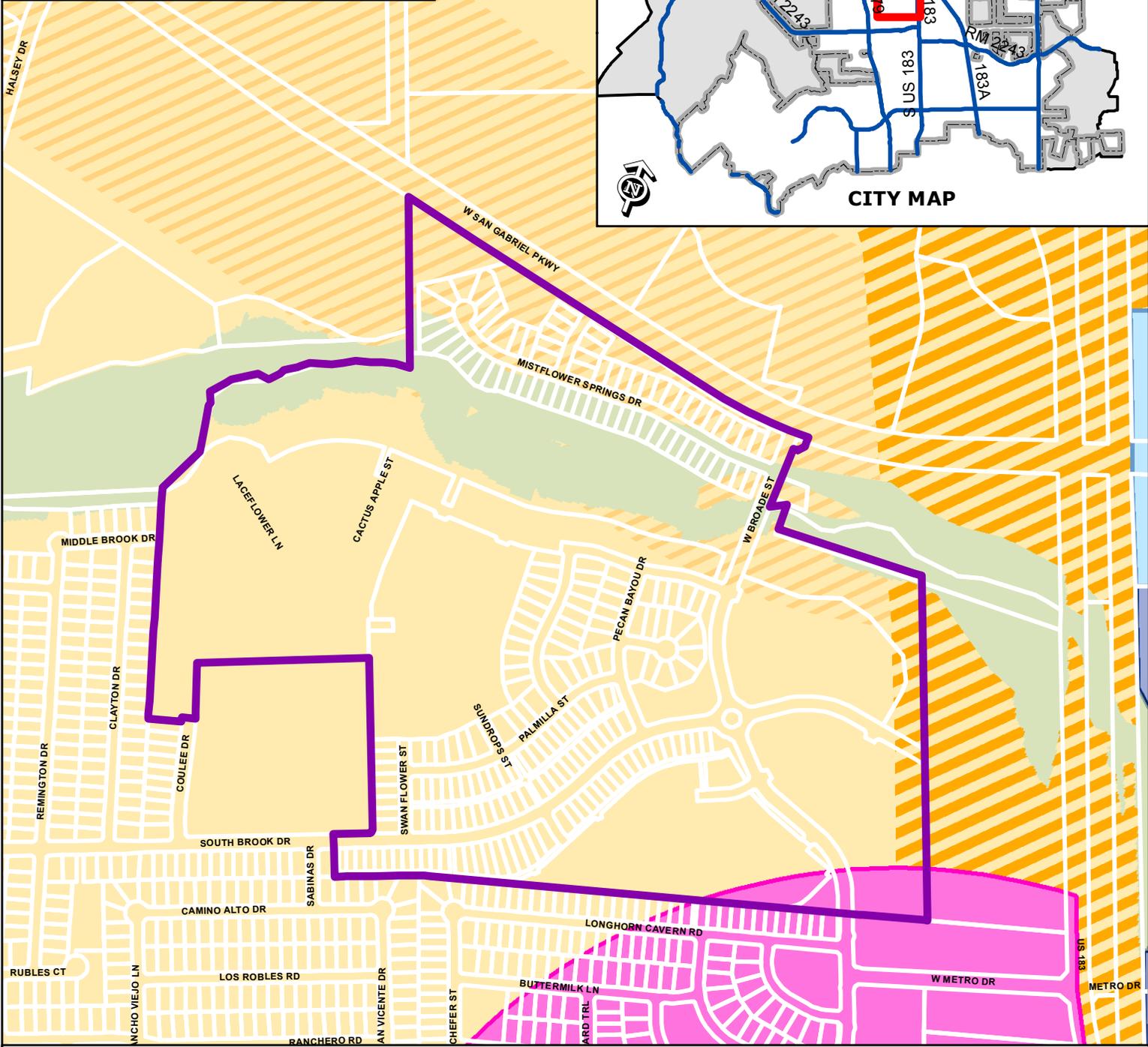
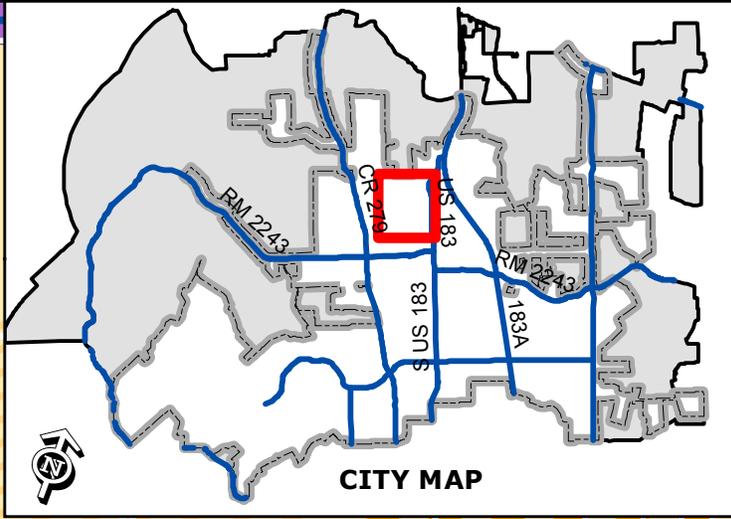
ZONING CASE 16-TOD-Z-005 Attachment #2 Current Zoning Map - Oak Creek PUD Amd

	Subject Property		SFR		SFL		LO		PUD - Commercial
	City Limits		SFE		SFT		LC		PUD - Mixed Use
			SFS		SFU/MH		GC		PUD - Multi-Family
			SFU		TF		HC		PUD - Townhomes
			SFC		MF		HI		PUD - Single-Family



0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

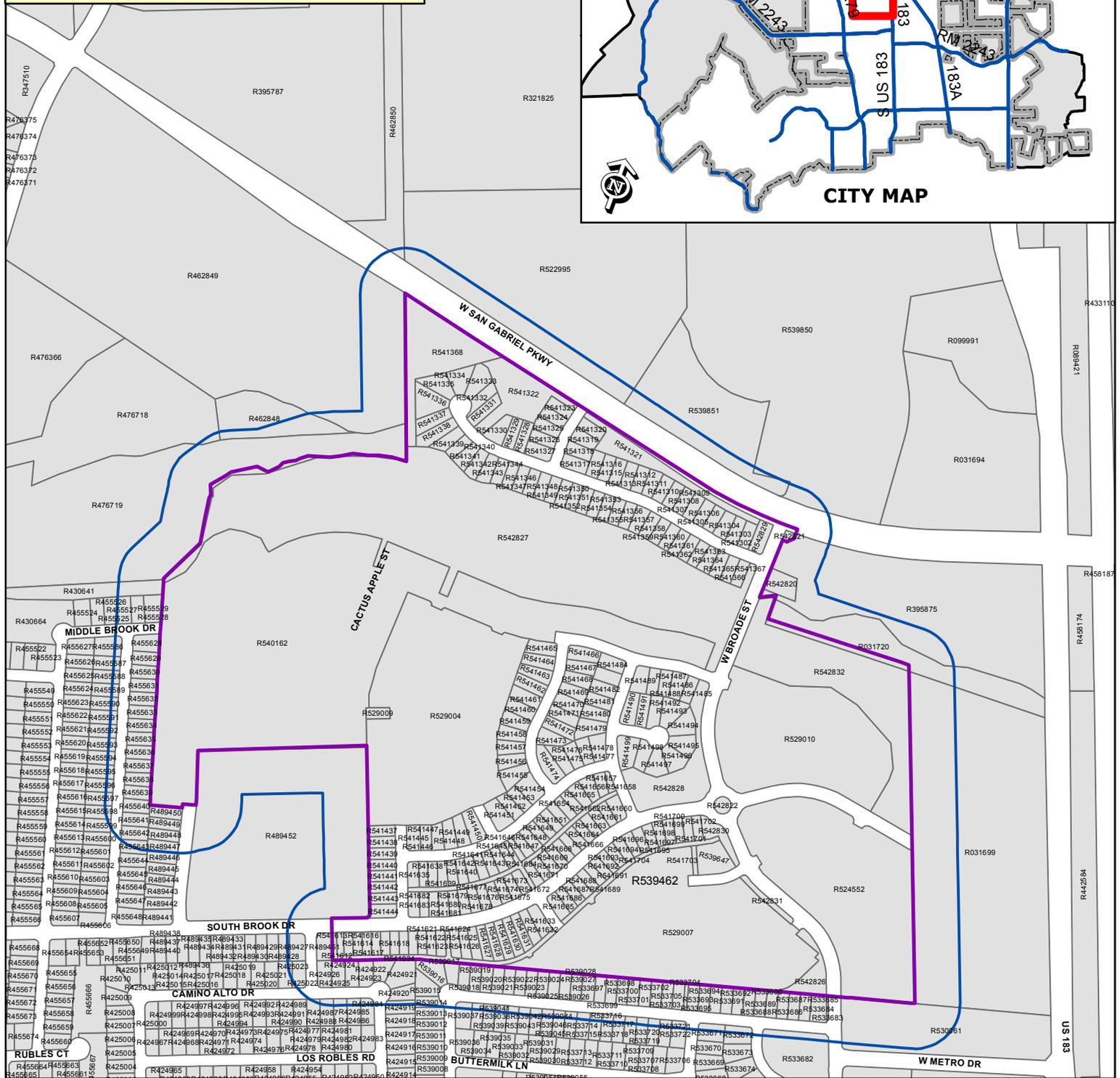
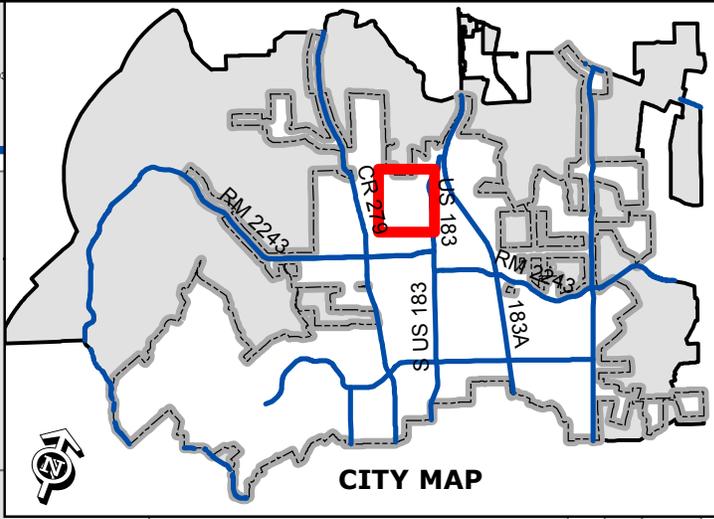


ZONING CASE 16-TOD-Z-005 Attachment #3 Future Land Use Map - Oak Creek PUD

Subject Property	Commercial Corridor	Transit Supportive Mixed Use
City Limits	Neighborhood Center	Station Area Mixed Use
Open Space	Community Center	Old Town Mixed Use
Mixed Use Corridor	Activity Center	Employment Mixed Use
	Industrial District	
	Neighborhood Residential	

0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

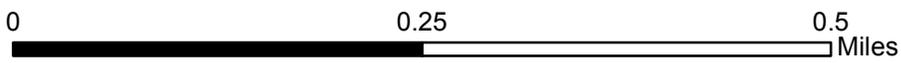


ZONING CASE 16-TOD-Z-005 Oak Creek

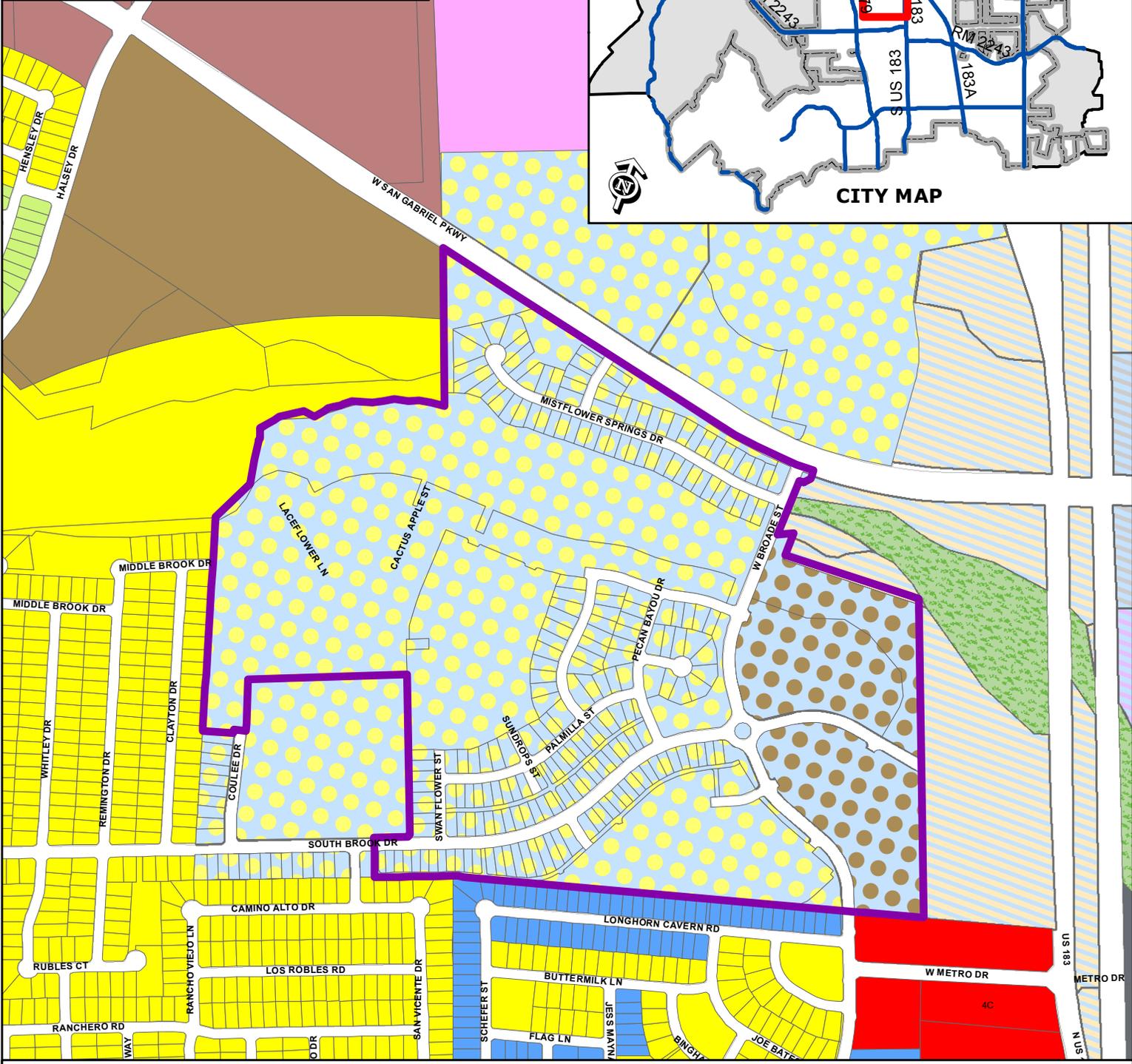
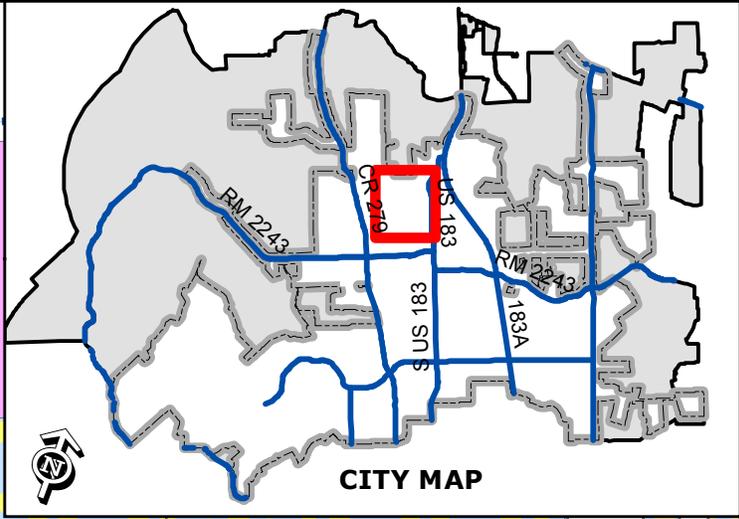
Attachment # 4

-  Public Notification Boundary
-  Subject Property
-  City Limits
-  WCAD Parcels

Notification Map
Oak Creek



This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

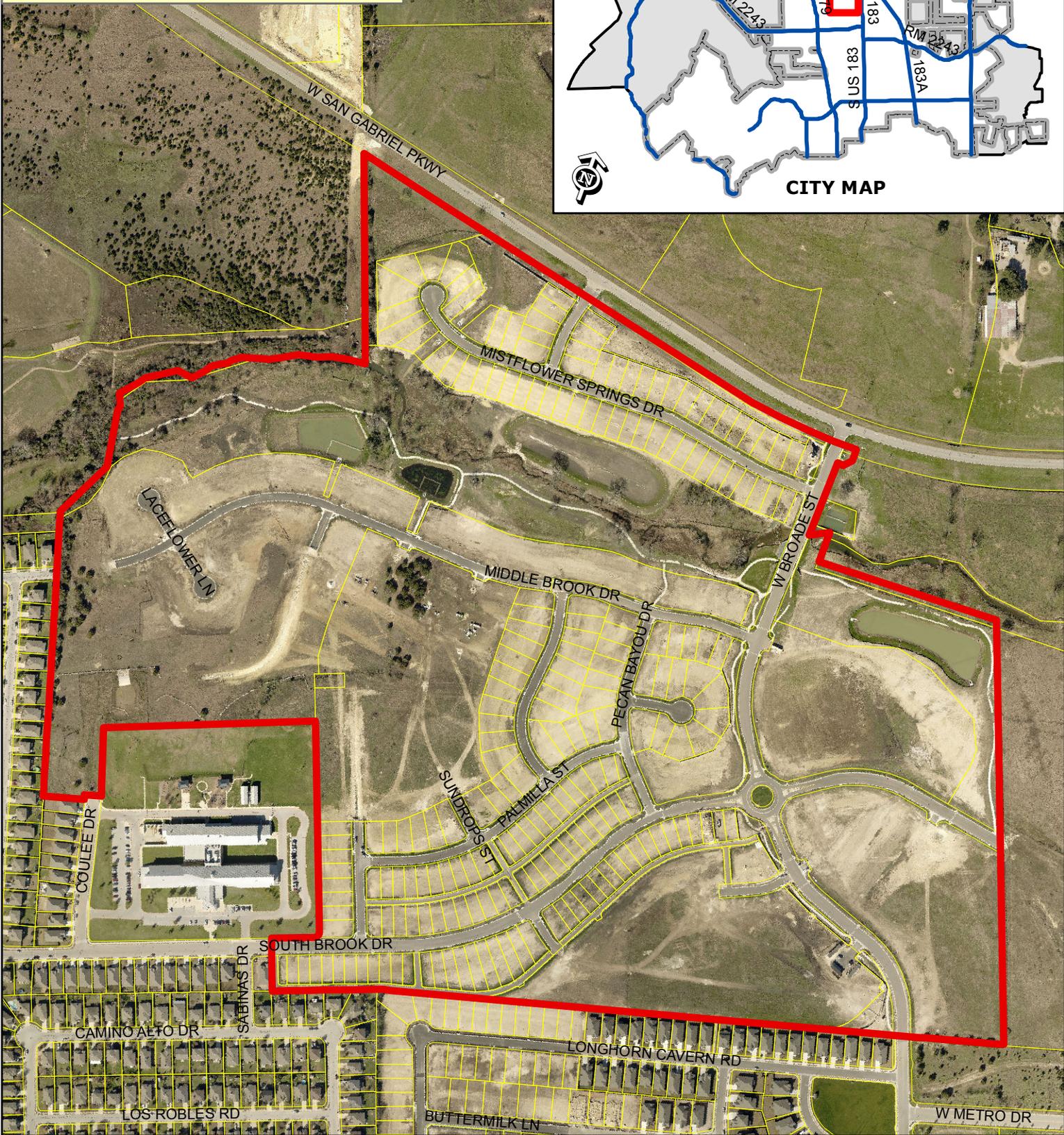
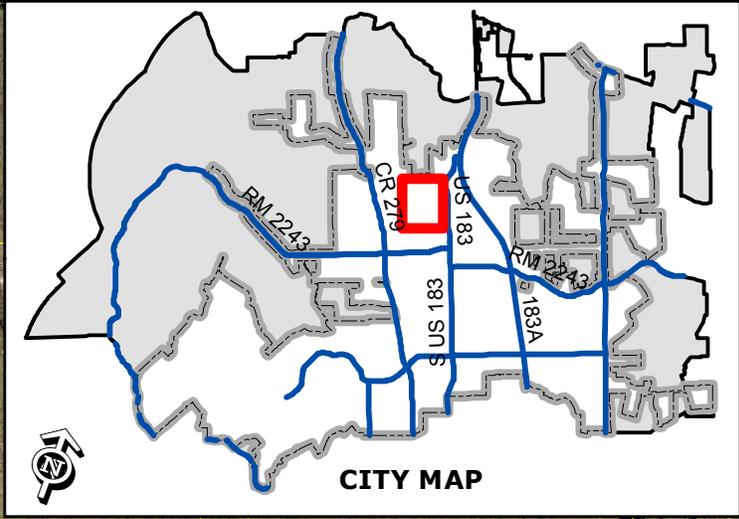


ZONING CASE 16-TOD-Z-005 Attachment #5 Proposed Map - Oak Creek PUD Amd

	Subject Property		SFR		SFL		LO		PUD - Commercial
	City Limits		SFE		SFT		LC		PUD - Mixed Use
			SFS		SFU/MH		GC		PUD - Multi-Family
			SFU		TF		HC		PUD - Townhomes
			SFC		MF		HI		PUD - Single-Family



This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



ZONING CASE 16-TOD-Z-005 Attachment #6

Aerial Exhibit - Approximate Boundaries
Oak Creek PUD Amendment



-  Subject Property
-  City Limits

Exhibit A

Oak Creek Planned Unit Development

A. Purpose and Intent

The Oak Creek PUD is composed of approximately 150 acres, as described in Exhibit D (Field Notes). The development of this property is planned as a high quality, residential community with a variety of residential product types.

Oak Creek has been designed to create walkable, pedestrian friendly neighborhoods. The contents of this PUD further explain and illustrate the overall appearance and function desired for this community. A Conceptual Site Layout and Land Use Plan has been attached to this PUD, Exhibit B, to illustrate the design intent for the property. The Conceptual Site Layout and Land Use Plan is intended to serve as a guide to illustrate the general community vision and design concepts and is not intended to serve as a final document. The Conceptual Site Layout and Land Use Plan depicts a mix of residential products and open space areas which are contemplated within the community.

B. Applicability and Base Zoning

All aspects regarding the development of this PUD shall comply with the City of Leander Composite Zoning Ordinance, except as established in this exhibit, titled Exhibit A.

For the purpose of establishing development standards for the PUD, base zoning districts have been selected from the Leander Composite Zoning Ordinance for the various residential products proposed within the PUD.

- *For Lots 60' and wider: Base Zoning District SFU Single Family Urban (SFU-2-B)*
- *For Lots 50'-59': Base Zoning District SFC Single Family Compact (SFC-2-B)*
- *For Lots 40'-49': Base Zoning District SFL Single Family Limited (SFL-2-B)*
- *For Single Family Townhomes: SFT – Single Family Townhouse (SFT-2-B)*
- *For Cluster Housing: MF – Multi Family (MF-2-B)*
- *For Multi Family Housing: MF-Multi Family (MF-2-A)*

This PUD allows the flexibility to mix the various residential products and define boundaries for each lot type during the platting process. Each plat or site plan submitted to the City will identify the use at the time of City Submittal. All neighborhoods within the PUD will comply with the modified development standards of this PUD. In the case that this PUD does not address a specific City requirement, the Leander Composite Zoning Ordinance shall apply. In the event of a conflict between this PUD and the base zoning district found in the Leander Composite Zoning Ordinance, this PUD shall control.

C. Conceptual Site Layout and Land Use Plan

Exhibit B attached is a conceptual development plan intended to visually convey the design intent for the Oak Creek community. The design of the community is not final, and is subject to refinement during the platting and site planning stages. This PUD zoning document does not constitute plat or site plan approval of the attached plan.

The Oak Creek project is comprised of a mix of various single family detached products as well as multi-family, townhomes and cluster products. Oak Creek will include a cohesive network of open spaces, including parks, water quality areas, floodplain and trail corridors. The open space and trails system combined with the sidewalk network will be critical in establishing a walkable, inviting community.

The product placement within the community is planned to provide the following development pattern:

SFL Single Family Limited

Alley loaded, 40' lots will be located west of West Broade Street and adjacent to the southern boundary line which is shared with the Northside Meadow development. The extension of South Brook Drive will be faced with alley loaded product to provide an attractive architectural street scene which will ultimately connect to the adjacent TOD uses located along Highway 183. The alley loaded product will also reduce driveways along South Brook Drive to Plain Elementary School.

SFC Single Family Compact/SFU Single Family Urban

The area north of the alley loaded product and west of West Broade Street will contain a mix of 50', 60' and 70' conventional single family product types with access points to the central park and trail system. Extensions of Coulee Drive and Middle Brook Drive will connect into the new neighborhoods, providing a seamless connection to the adjacent Benbrook Ranch and Heritage Glen developments.

MF Multi Family/SFT Single Family Townhouse/Cluster

The parcels located east of West Broade Street are directly adjacent to the area designated as T5 on the City of Leander TOD map. The parcels are planned for higher density attached townhomes, ~~or~~ cluster with a maximum density of 12 units per acre, or multi-family apartments with a density of 22 units per acre.

The cluster product is a detached single family unit that is developed as a condo regime. If a cluster product is proposed, the site will be processed as a single lot site plan. The units will be sold as condos with common open space areas that are maintained by a Homeowners Association.

To ensure a variety and mix of residential product types within Oak Creek, the following standards have been established:

Residential Product Type Requirements

1. MF Multi Family/SFT Single Family Townhome (Multi-Family, Cluster, Townhome)
 - Minimum of 100 units
2. SFL Single Family Limited-Alley Loaded lots
 - Minimum of 100 units
3. SFC Single Family Compact – 50’ lots
 - Minimum of 100 units
4. SFU Single Family Urban-60’ lots
 - Minimum of 100 units

D. Allowable Uses

The uses allowed within the Oak Creek PUD shall comply with the list of permitted uses defined in Article III, Section 17 of the Leander Composite Zoning Ordinance for the appropriate base zoning district. Cluster housing shall be considered a single family, detached use which is permitted in a MF Multi Family base district with a maximum density of 12 units per acre.

E. Lot Design Standards

Residential Areas:

Oak Creek will include a variety of residential product types and sizes from detached single family homes to townhomes and/or apartments. The detached residential has been broken into two categories based upon lot width and size. The attached product has been grouped into one category and Cluster housing has been designated as an individual category. Detailed design standards are included within this PUD, Table E.1, based upon the type of residential product.

Multi Family Areas:

Apartment development within MF zoning areas shall locate surface parking and garage areas internal to the parcel. Buildings shall be oriented to W. Broade Street and S. Brook Drive. Surface parking shall not be located between a building and the adjacent major street. Exhibit C illustrates the prototypical design intent for a Multi Family street scene.

If a Multi Family apartment building is located directly adjacent to a single family residential lot, there shall be a minimum 20 foot of building setback from the adjacent single family lot line.

The Oak Creek development will comply with the Development Standards set forth in Table E.1

Table E.1 – Development Standards

	RESIDENTIAL USES				Multi-Family (MF)
	DETACHED 50 ft. & wider lot (SFC/SFU)	DETACHED narrower than 50 ft. lot (SFL base, alley loaded)	ATTACHED Townhome (SFT base, alley loaded)	CLUSTER / MF (Setbacks are for perimeter)	
Lot Area (minimum)	5,500 s.f.	4,000 s.f.	1,800 s.f.	n/a	<u>n/a</u>
Lot Width (minimum)	50 ft.	40 ft.	20 ft.	n/a	<u>n/a</u>
Front Setback (minimum)	20 ft. (25' street facing garage)	15 ft.	10 ft.	20 ft.	<u>20 ft. Maximum*</u> <u>15 ft. Minimum</u>
Side Setback (minimum)	5 ft.	5 ft.	0 ft./10 ft.	10 ft. building separation	<u>10 ft. building separation</u>
Street Side Setback (minimum)	15 ft. (20' street facing garage)	15 ft.	15 ft.	20 ft.	<u>20 ft.</u>
Rear Setback (minimum)	15 ft.	6 ft.	6 ft.	20 ft.	<u>20 ft.</u>
Lot Depth (minimum)	110 ft.	100 ft.	90 ft.	n/a	<u>n/a</u>

* In the event that there are issues with grade along W Broade Street, flexibility with regard to the maximum setback may be granted administratively. This exception will not allow for parking to be located between the building and the right-of-way.

F. Parkland/Open Space/Trails

Open space within Oak Creek will create a network of trails and parkland that creates distinct neighborhoods and provides pedestrian walkways throughout the community. The Oak Creek PUD will contribute approximately 31 acres of open space consisting of parks, floodplain, greenbelt trail corridors and water quality ponds. The parkland and proposed trails and amenities shall be consistent with the approved Concept Plan Sheet 2 Parkland Exhibit (Exhibit 1).

The following criteria shall be considered allowable for parkland credit within Oak Creek.

1. Neighborhood Pocket Parks - Minimum of ½ acre
2. Minimum of 100' of street frontage
3. Water quality pond areas that are designed as an amenity

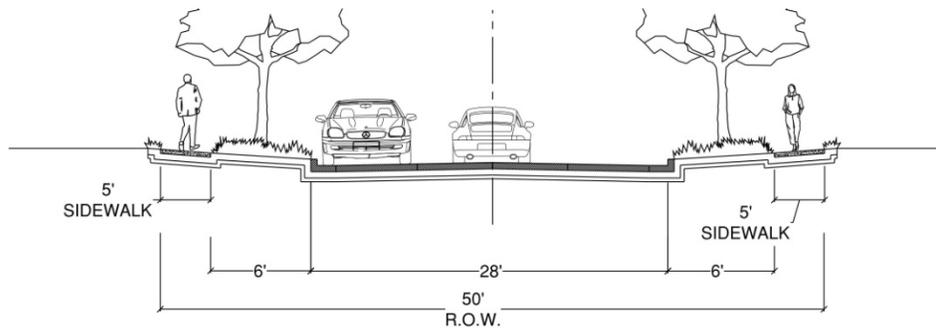
4. Open space trail corridors located along West Broade Street between the back of lots and the right of way

Oak Creek is located in close proximity to Benbrook Park. A primary 8' wide, concrete trail will be constructed within the floodplain which will provide a connection point for linkage between the Benbrook trail and West Broade Street and from West Broade Street east and south to connect with South Brook Drive (see approved Concept Plan Sheet 2 Parkland Exhibit). An additional 8' wide, concrete trail will be provided along the entire length of West Broade Street which will meander in and out of the right of way and adjacent open space corridor located on the western side of the roadway.

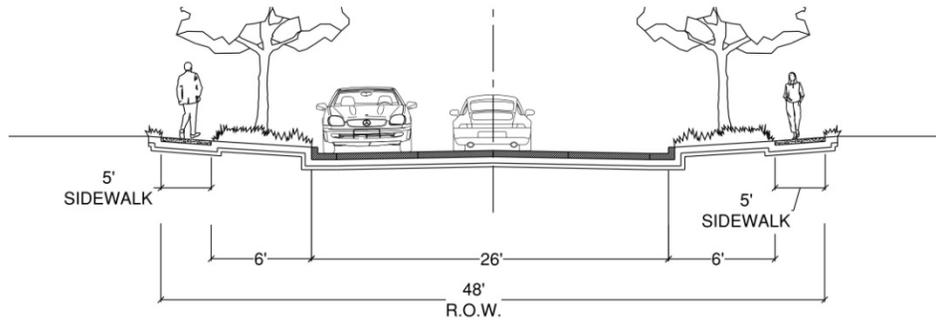
G. Roadway Design

The Oak Creek community will incorporate the following right of way standards.

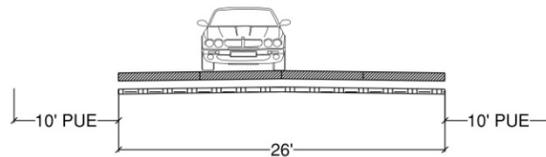
1. All single family detached roadways for base districts SFU Single Family Urban and SFC Single Family Compact shall utilize Primary Residential Street section ST-50-28 [as illustrated below](#).
2. All alley loaded residential product in base districts SFL Single Family Limited and SFT Single Family Townhouse shall utilize Primary Residential Street section ST-48-26 [as illustrated below](#).
3. All alleys shall conform to the RA-20 Rear Alley section [as illustrated below](#).
4. Streets within a Cluster Housing project will be private streets within a site plan. The pavement width shall be a minimum of 26 feet in width with 10 foot Public Utility Easements PUE on each side of the street.
5. Due to the pedestrian oriented design and emphasis on an attractive streetscape, several traffic calming measures are allowed within Oak Creek. A traffic circle shall be incorporated at the intersection of South Brook Drive and West Broade Street with a minimum radius of 70 feet.
6. Additional traffic calming islands shall be allowed along South Brook Drive. The minimum pavement width between landscape islands shall be 24 feet. Parallel parking shall be allowed on both sides of South Brook Drive with the driving lanes tapering at intersections to create traffic calming islands. Changes in paving material such as stamped concrete or pavers shall be allowed at the intersections and traffic circle.



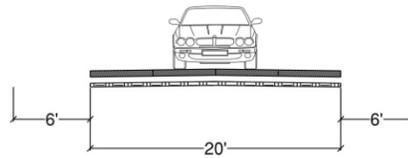
RESIDENTIAL STREET SECTION: ST-50-28



RESIDENTIAL STREET SECTION: ST-48-26



CLUSTER STREET



RESIDENTIAL ALLEY: RA-20

H. Architectural Criteria

The PUD shall comply with the architectural standards of the Composite Zoning Ordinance and the Conventional Development Sector of the City of Leander SmartCode adopted July 17, 2014. Single family residential products within the SFL Single Family Limited, SFT Single Family Townhouse base zoning districts and detached single family residential products within the MF Multi Family base zoning district (i.e. cluster single family developed as a site plan) may utilize cementitious fiber planking to meet the masonry requirement.

Multi Family apartments located within the MF base zoning district shall comply with the Type A Architectural Component of Composite Zoning Ordinance.

I. Walls and Fencing

All lots within Oak Creek which back or side onto West Broade Street shall have a solid, 6 foot tall masonry wall with columns located along the rear or side lot line. Wrought iron fencing with masonry columns is allowed in locations where views into the neighborhood would be desirable.

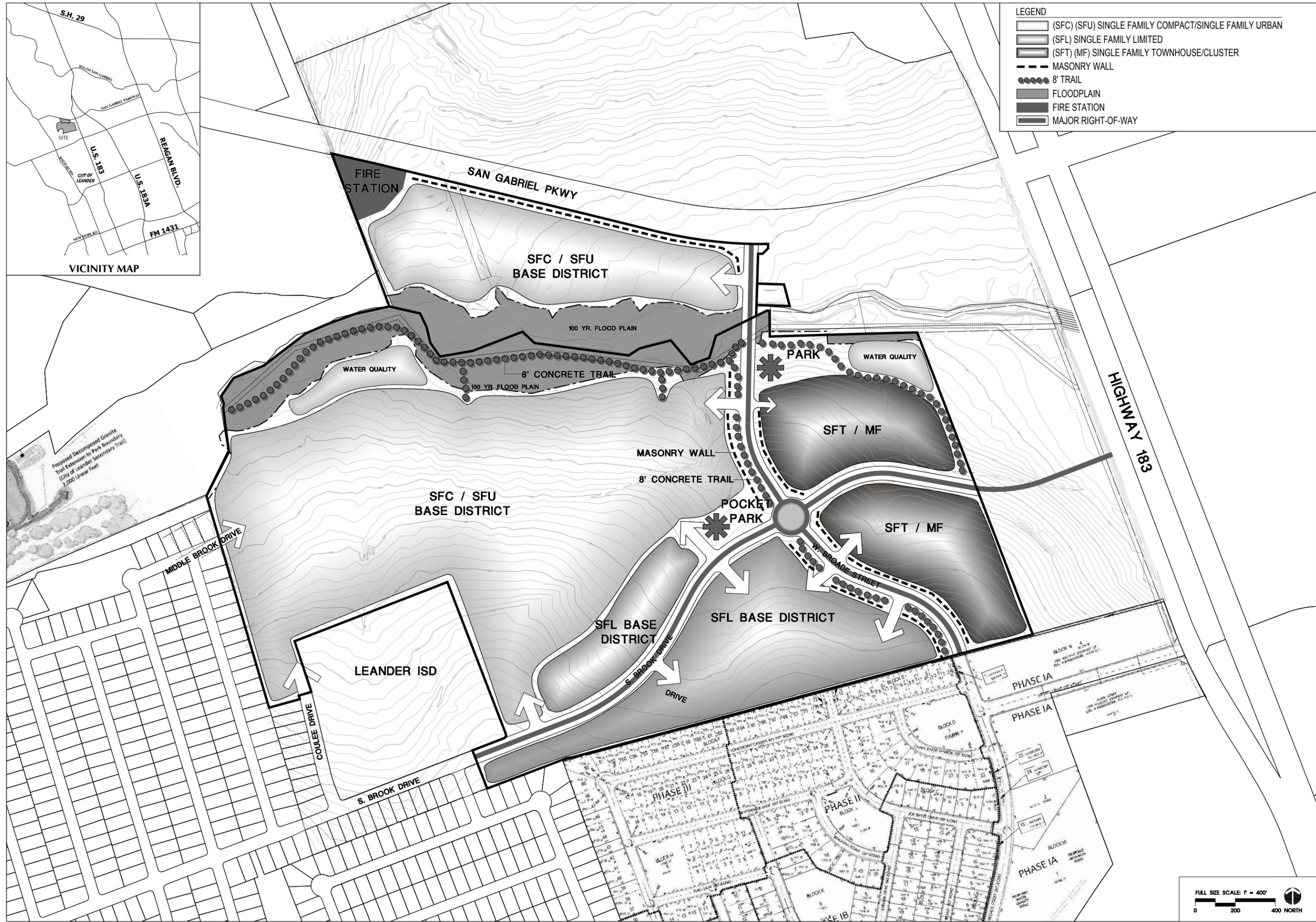
All lots which back onto parks or floodplain areas shall utilize 6 foot, wrought iron view fencing.

J. Flag Lots

In order to provide a legal lot for the water quality ponds within Oak Creek, the minimum flag lot width shall be 15 feet. This provision shall not apply to residential lots.

Exhibit B

Conceptual Site Layout and Land Use Plan



LEGEND

- (SFC) (SFU) SINGLE FAMILY COMPACT/SINGLE FAMILY URBAN
- (SFL) SINGLE FAMILY LIMITED
- (SFT) (MF) SINGLE FAMILY TOWNHOUSE/CLUSTER
- MASONRY WALL
- 8' TRAIL
- FLOODPLAIN
- FIRE STATION
- MAJOR RIGHT-OF-WAY

SEC Planning, LLC
 Austin, Texas
 LAND PLANNING
 LANDSCAPE ARCHITECTURE
 COMMUNITY BRANDING
 4201 W. Parmer Lane, Bldg. A, Suite 220
 Austin, TX 78727
 T 512.246.7083
 F 512.246.7183
 www.secplanning.com
 Email: info@secplanning.com

OWNER: MICHELLE
 SENTINEL/COTTER LEANDER, LLC
 9111 HOLLYVILLE ROAD
 SUITE 212
 AUSTIN, TX 78759
 T 512.922.2112

OWNER: TYLERVILLE
 WATERSTONE TYLERVILLE, LP
 10500 AVERY CLUB DRIVE
 SUITE 900
 AUSTIN, TX 78717

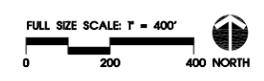
**EXHIBIT 1
 CONCEPTUAL SITE LAYOUT
 AND LAND USE PLAN
 OAK CREEK
 LEANDER, TEXAS**

Q:\130078-SELA\Cadfiles\PLANNING\Submittals\Concept Plan Submittal\Concept A 2013-08-15.dwg

Issued:	
1. PUD Submittal	12/20/13
2.	
3.	
4.	
5.	
Revisions:	
1. PUD Plan Revision	02/11/14
2. PUD Plan Revision	03/20/14
3.	
4.	
5.	
Issue Date:	December 20, 2013

Drawn By: MB
 Reviewed By: MB

Project No.
 130078-SELA



Concept Plan – Sheet 2 Parkland Exhibit

CONCEPT PLAN - SHEET 2
PARKLAND EXHIBIT
MICHELLE / TYLERVILLE TRACT
 LEANDER, TEXAS

Q:\130078-SELA\Cadfiles\PLANNING\Submittals\Concept Plan Submittal\Concept A 2013-08-15.dwg

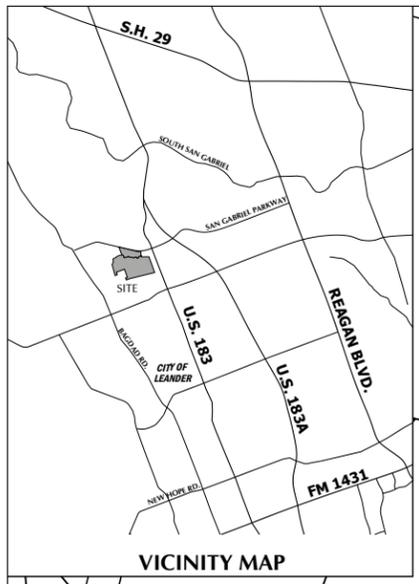
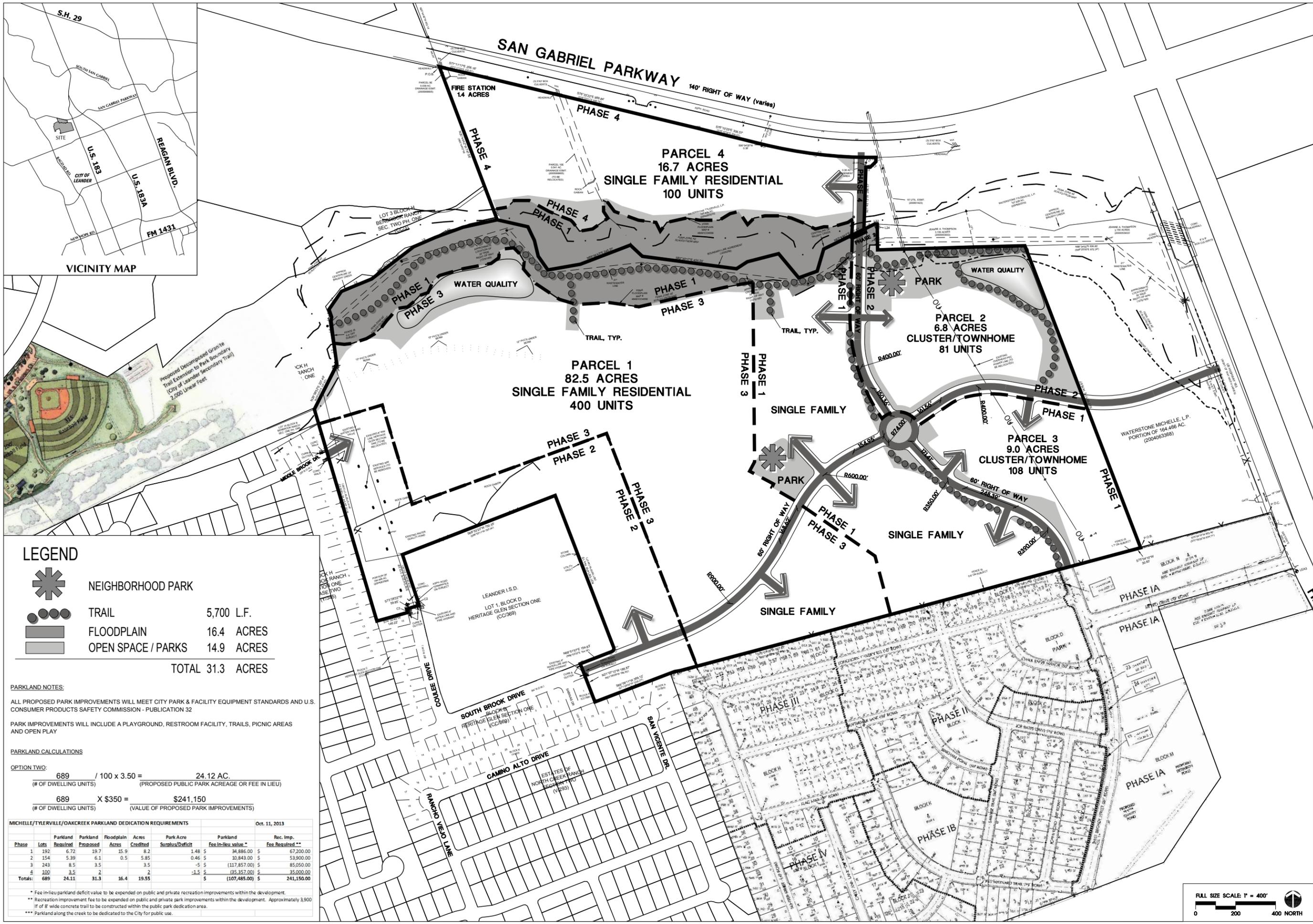
Issue Date: **September 6, 2013**

Revisions:
 1 City Concept Submittal 10/7/13
 2 City Concept Submittal 10/24/13
 3 City Concept Submittal 11/05/13

Issue Date: **September 6, 2013**

Drawn By: MB
 Reviewed By: MB

Project No:
130078-SELA



LEGEND

- NEIGHBORHOOD PARK
- TRAIL 5,700 L.F.
- FLOODPLAIN 16.4 ACRES
- OPEN SPACE / PARKS 14.9 ACRES

TOTAL 31.3 ACRES

PARKLAND NOTES:
 ALL PROPOSED PARK IMPROVEMENTS WILL MEET CITY PARK & FACILITY EQUIPMENT STANDARDS AND U.S. CONSUMER PRODUCTS SAFETY COMMISSION - PUBLICATION 32

PARK IMPROVEMENTS WILL INCLUDE A PLAYGROUND, RESTROOM FACILITY, TRAILS, PICNIC AREAS AND OPEN PLAY

PARKLAND CALCULATIONS

OPTION TWO:
 $689 / 100 \times 3.50 = 24.12 \text{ AC.}$
 (# OF DWELLING UNITS) (PROPOSED PUBLIC PARK ACREAGE OR FEE IN LIEU)

$689 \times \$350 = \$241,150$
 (# OF DWELLING UNITS) (VALUE OF PROPOSED PARK IMPROVEMENTS)

MICHELLE/TYLERVILLE/OAKCREEK PARKLAND DEDICATION REQUIREMENTS										Oct. 11, 2013	
Phase	Lots	Parkland Required	Parkland Proposed	Floodplain Acres	Credited	Parkland Surplus/Deficit	Parkland Fee In-lieu value *	Parkland Fee Required **	Rec. Imp. Fee Required **		
1	192	6.72	15.7	15.9	8.2	-1.48	\$ 24,886.00	\$ 67,200.00			
2	154	5.39	6.1	0.5	5.85	0.46	\$ 10,843.00	\$ 53,900.00			
3	243	8.5	3.5		3.5	-5	\$ (117,857.00)	\$ 85,050.00			
4	100	3.5	2		2	-1.5	\$ (35,357.00)	\$ 35,000.00			
Totals:	689	24.11	31.3	16.4	19.55		\$ (107,485.00)	\$ 241,150.00			

* Fee in-lieu parkland deficit value to be expended on public and private recreation improvements within the development.
 ** Recreation improvement fee to be expended on public and private park improvements within the development. Approximately 3,900 lf of 8' wide concrete trail to be constructed within the public park dedication area.
 *** Parkland along the creek to be dedicated to the City for public use.

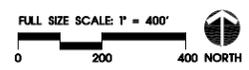


Exhibit C

Prototypical Design Intent for a Multi Family Street Scene



PROTOTYPICAL STREETScape PLAN



STREET PERSPECTIVE

Date: March 22, 2016



January 27, 2016

City of Leander Planning Department
104 North Brushy Street
PO Box 319
Leander, Texas 78646-0319

Re: Oak Creek PUD Amendment Letter of Intent

Please find attached an application for a PUD zoning Amendment for the Oak Creek Community, generally located at San Gabriel Parkway and Highway 183. The applicant is requesting an amendment to the approved PUD zoning to increase the residential density allowed within the parcels located on the east side of W. Broade Street and designated as SFT / MF.

The applicant is proposing to maintain the development regulations and land uses already approved within the Oak Creek PUD, but increase the maximum density within the SFT/MF parcels from 12 units per acre to 22 units per acre. The higher density provides the opportunity for an increased number of units in close proximity to the future commercial land that will be located along 183. The SFT / MF parcels also provide an appropriate transition between the single family homes and the 183 commercial.

Thank you for considering this amendment to the Oak Creek community.

Sincerely,

A handwritten signature in blue ink, appearing to read "Mark Baker".

Mark Baker
Principal



EXECUTIVE SUMMARY

APRIL 14, 2016

Agenda Subject: Zoning Case 16-Z-007: Hold a public hearing and consider action on the rezoning of several parcels of land generally located to the west of the intersection of CR 279 and Live Oak Rd; 76.89 acres more or less; WCAD Parcels R022926, R022924, R473840, R022625, and R473841. Currently, the property is zoned interim SFR-1-B (Single-Family Rural). The applicant is proposing to zone the property to SFR-2-B (Single-Family Rural), Leander, Williamson County, Texas.

Background: This request is the first step in the rezoning process.

Origination: Applicant: San Gabriel Whitt Ranch, LLC (Davy Roberts).

Financial Consideration: None

Recommendation: See Planning Analysis.

Motion: APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)

DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.

Attachments:

1. Planning Analysis
2. Current Zoning Map
3. Future Land Use Map
4. Notification Map
5. Proposed Zoning Map
6. Aerial Map
7. Letter of Intent

Prepared By: Martin Siwek, AICP, GISP
Planner

03/17/2016



PLANNING ANALYSIS

ZONING CASE 16-Z-007
San Gabriel Whitt Ranch

GENERAL INFORMATION

- Owner:** San Gabriel Whitt Ranch, LLC: Davy Roberts
- Current Zoning:** Interim SFR-1-B (Single-Family Rural)
- Proposed Zoning:** SFR-2-B (Single-Family Rural)
- Size and Location:** The property is generally located west of the intersection of Live Oak Rd and CR 279, on the west side of CR 279 for 76.89 acres more or less.
- Staff Contact:** Martin Siwek, AICP, GISP
Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

	ZONING	LAND USE
NORTH	Interim SFR-1-B OCL (Outside of City Limit)	Vacant Property
EAST	OCL	Established Single Family Neighborhood (Live Oak Ranch)
SOUTH	Interim SFS-2-B OCL	Established Single Family Homes (Bagdad Estates) and vacant property
WEST	OCL	Vacant Property

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:**SFR – SINGLE-FAMILY RURAL:**

Features: 1 acre lot min.; 1,600 square foot living area min.

Intent: Development of single-family detached dwellings on lots one acre or larger in size and for other uses that are compatible and complimentary to large lot and very low density residential development. The purpose of this component is to provide regulations to preserve rural character and maintain and protect the City's single-family residences and neighborhoods in an area with larger lot sizes. This component is also intended to preserve the larger tracts of land for future economic development in accordance with the Comprehensive Plan, while permitting rural/agricultural uses on the land to continue.

SITE COMPONENT:**TYPE 2:**

Features: Accessory buildings greater of 10% of primary building or 120 sq. ft.; accessory dwellings for SFR, SFE and SFS; drive-thru service lanes; uses not to exceed 40,000 sq. ft.; multi-family provides at least 35% of units with an enclosed garage parking space.

Intent:

- (1) The Type 2 site component may be utilized with non-residential developments that are adjacent to a residential district or other more restrictive district to help reduce potential negative impacts to the more restrictive district and to provide for an orderly transition of development intensity.
- (2) The Type 2 site component is intended to be utilized for residential development not meeting the intent of a Type 1 site component and not requiring the additional accessory structure or accessory dwelling privileges of the Type 3 site component.
- (3) This component is intended to be utilized with the majority of LO and LC use components except those that meet the intent of the Type 1 or Type 3 site component or with any use requiring drive-through service lanes.
- (4) This component is generally not intended to be utilized with HC and HI use components except where such component is adjacent to, and not adequately buffered from, residential districts or other more restricted districts, and except as requested by the land owner.

ARCHITECTURAL COMPONENTS:**TYPE B:**

Features: 85% masonry 1st floor, 50% all stories; 4 or more architectural features.

Intent:

- (1) The Type B architectural component is intended to be utilized for the majority of residential development except that which is intended as a Type A architectural component.
- (2) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions.
- (3) This component may be utilized to raise the building standards and help ensure compatibility for non-residential uses adjacent to property that is more restricted.
- (4) This component is intended for the majority of the LO and LC use components except those meeting the intent of the Type A or C architectural components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Provide a balanced mix of complementary uses that support a strong and diverse tax base.
- Encourage a range of housing types at a variety of price points.
- Create strong neighborhoods with a variety of housing choices.
- Consider both the land use pattern and roadway design in the development and redevelopment of corridors.

LAND USE POLICIES

NEIGHBORHOOD RESIDENTIAL

- Neighborhood Residential is intended to accommodate a variety of housing types. The density and mix of housing types is dependent on a number of suitability factors including environmental constraints (such as steep topography and floodplain), the availability of sewer infrastructure, proximity to neighborhood and community centers, existing and planned parks and recreation sites, schools, and the road network.

CORRIDORS

MIXED USE CORRIDOR

Areas along arterials between Centers that have available land should be developed to preserve the integrity of the corridor and maintain mobility. Typical uses within this corridor include a variety of residential types, such as small-lot single-family, townhomes, duplexes and quadplexes, civic and institutional uses (schools and places of worship) and small professional offices that complement residential development. Limited neighborhood-serving commercial uses and higher-density residential are appropriate at intersections.

ANALYSIS:

The applicant is requesting to rezone the property from Interim SFR-1-B (Single-Family Rural) to SFR-2-B (Single-Family Rural). The properties to the north and west are vacant, and the properties to the east and south are established single family homes of the Live Oak Ranch and Bagdad Estates Subdivisions. The western portion of this property is outside of the city limits is part of the current annexation schedule and will be in the city limits upon the second reading of the ordinance on April 21, 2016.

The use component of SFR only permits residential on one acre or large lots and a few compatible nonresidential uses, such as community centers, group family homes, places of worship, libraries, and schools. The purpose of this component is to provide regulations to preserve rural character and maintain and protect the City's single-family residences and neighborhoods in an area with larger lot sizes.

The applicant's proposed Type 2 site component is the standard site component paired with the City's residential districts. It regulates the size of accessory buildings and structures provided on the property, and the size of accessory dwellings (with a minimum of 400 sq. ft of living area and a maximum of either 900 sq. ft or 40% of the gross floor area of the primary building; whichever is greater).

The Type B architectural component requested by the applicant requires 85% masonry on the first story and 50% masonry on each additional story thereafter. The remaining materials of the building may either be comprised of cementitious-fiber planking (not panels) or solid wood planking. This component requires four architectural features for all street facing facades and restricts the building height to a maximum of 35 ft.

This property is located in the Neighborhood Residential and Mixed Use Corridor land use classifications as identified in the City's Comprehensive Plan. The Neighborhood Residential classification seeks to accommodate a variety of housing types based on several suitability factors including availability and future availability of water and wastewater infrastructure, topography, floodplain, the proximity of the property to Neighborhood and Community Centers, and existing or planned parks and schools. The Mixed Use Corridor areas along arterials seek to preserve the integrity of the corridor and to maintain mobility. A variety of small lot residential types, civic and institutional uses, and small professional offices that complement residential development are permitted within the corridor.

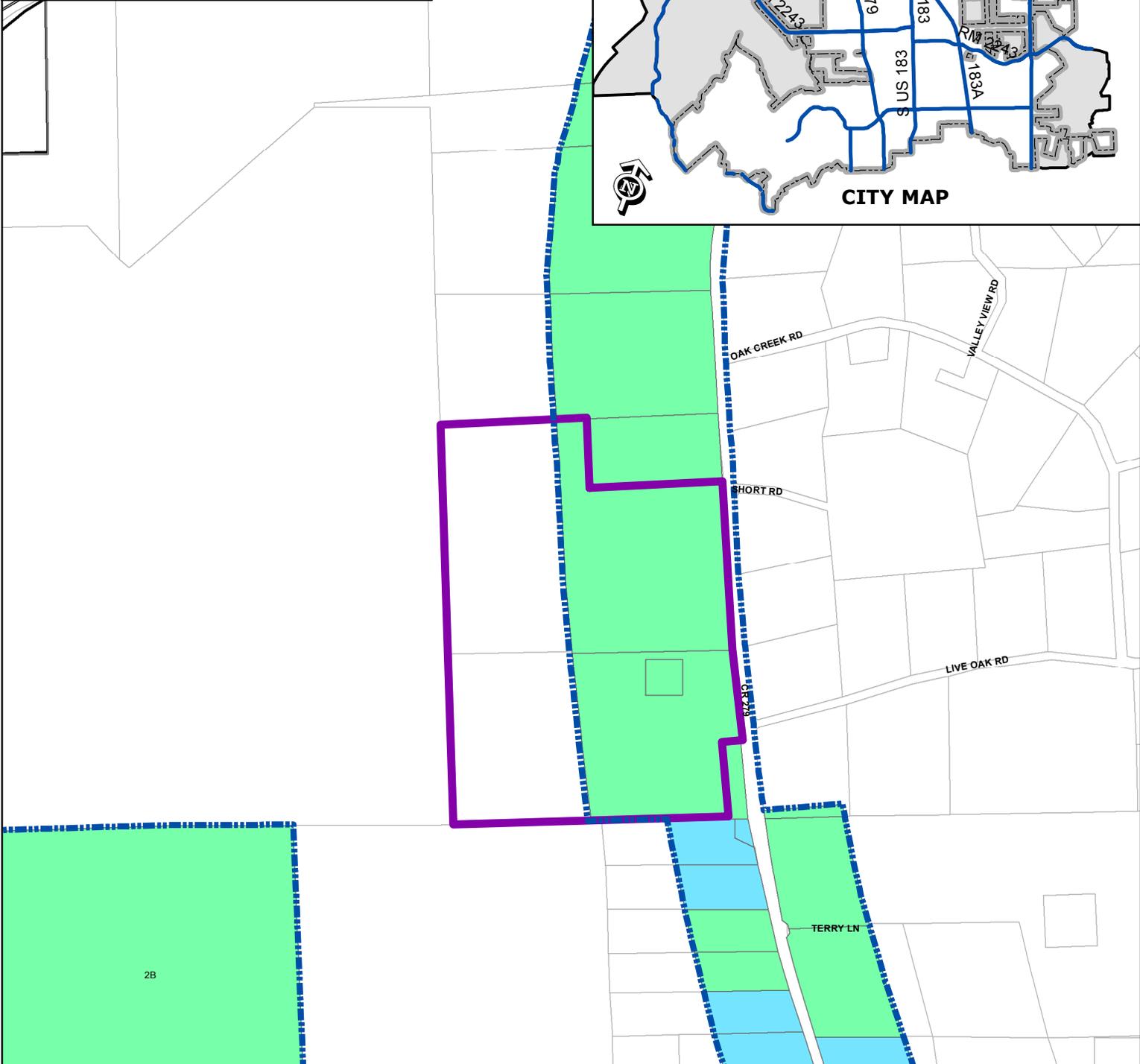
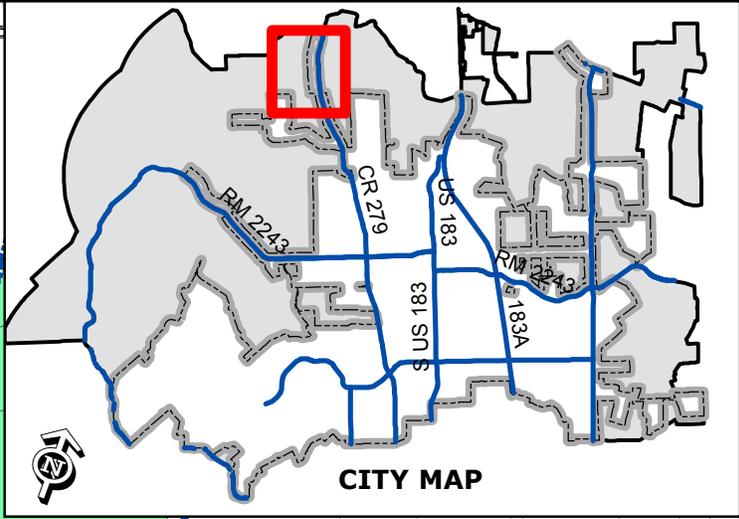
The suitability factors for this property lend itself to a higher residential density. The topography of the land is relatively flat with a gentle 1.5% slope running across the entirety of the track. Roughly 60% of the property is covered in trees with a small tributary dividing the property into two watersheds. The property is roughly 1.5 miles north of the nearest Community Center, and is approximately ½ mile away from Neighborhood Centers to the west and north. The closest schools to this property would be the Tom Glenn HS and the future planned middle school off of Collaborative Way at approximately one mile. The City recently installed a water line along CR 279 and the property has access for service. Wastewater lines are presently not available, but the Wastewater Master Plan calls for this area to be ultimately served by the City.

The eastern portion of the property along the CR 279 frontage is located within a Mixed Use Corridor. This corridor designation permits TF, SFT, SFL, PUD, LO, and LC (at appropriate intersections). The proposed zoning includes SFR-2-B within the Mixed Use Corridor and is not compliant with the land use designation identified by the Comprehensive Plan.

STAFF RECOMMENDATION:

The applicant submitted a development agreement application on August 13, 2014. At this time the proposed development with the requested zoning was in compliance with the adopted Comprehensive Plan and Future Land Use Map. The property changed ownership during the application process, and the City adopted a revised Comprehensive Plan and Future Land Use Map with criteria that were not applicable to the project at the beginning of the discussion of its development. The request is partially compliant with the plan in that it provides a residential use component which is permitted in the Neighborhood Residential land use classification of the Comprehensive Plan.

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

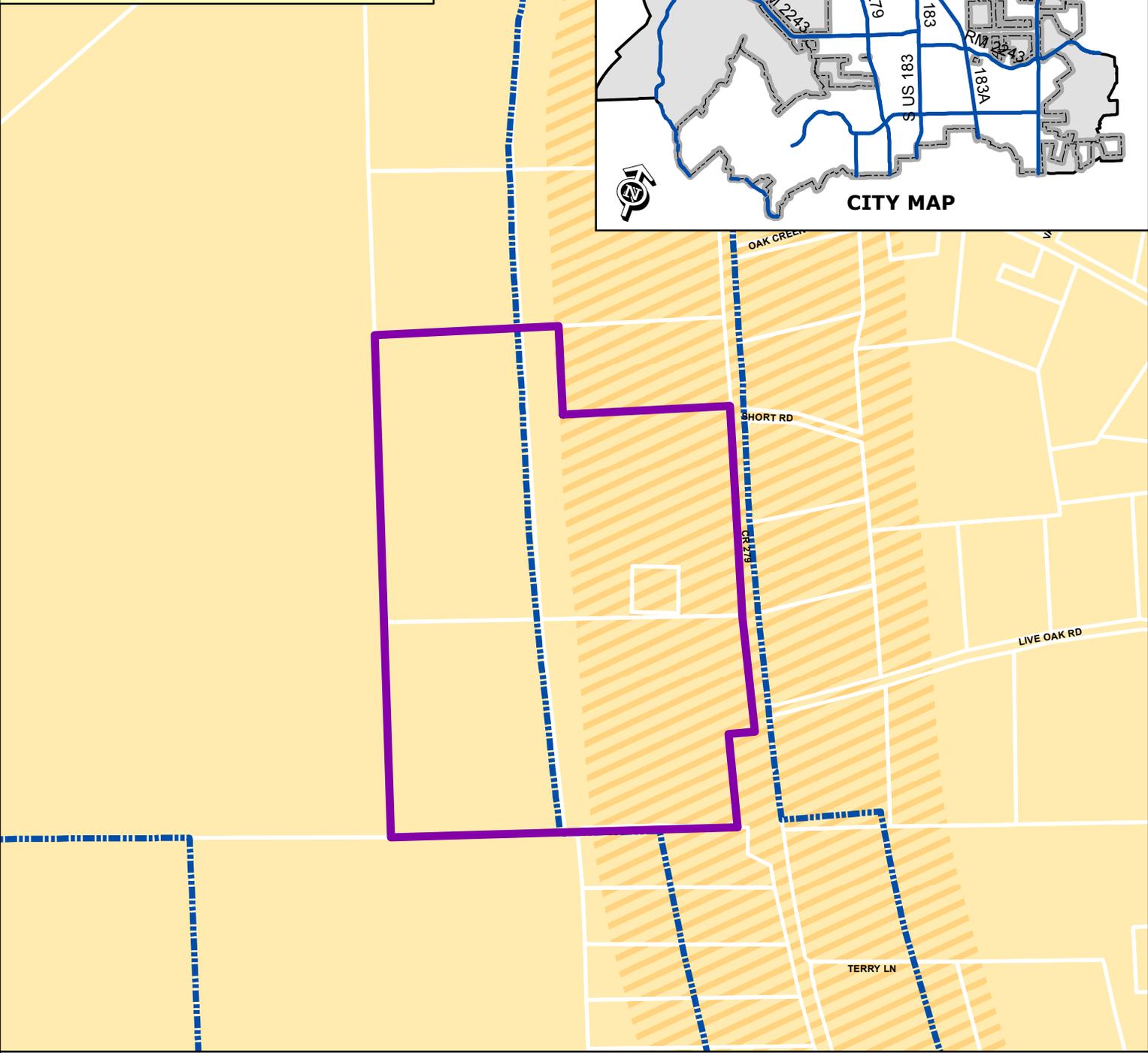
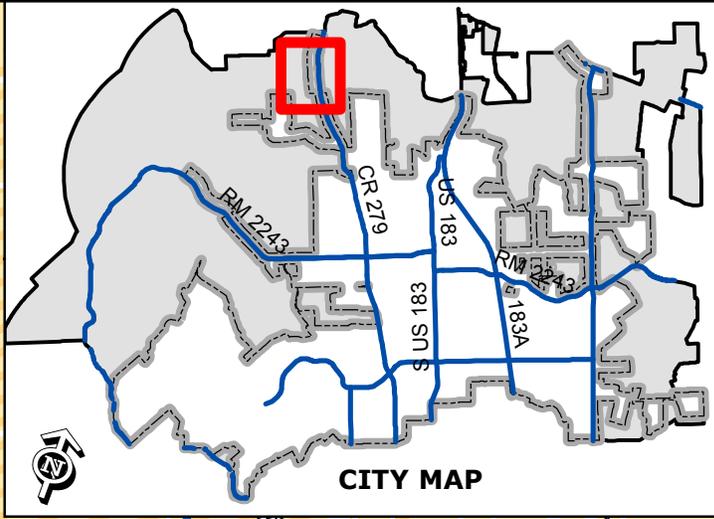


ZONING CASE 16-Z-007 Attachment #2 Current Zoning Map - San Gabriel Whitt Ranch

 City Limits	 SFR	 SFL	 LO	 PUD - Commercial
 Subject Property	 SFE	 SFT	 LC	 PUD - Mixed Use
	 SFS	 SFU/MH	 GC	 PUD - Multi-Family
	 SFU	 TF	 HC	 PUD - Townhomes
	 SFC	 MF	 HI	 PUD - Single-Family



This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



ZONING CASE 16-Z-007 Attachment #3 Future Land Use Map - San Gabriel Whitt Ranch

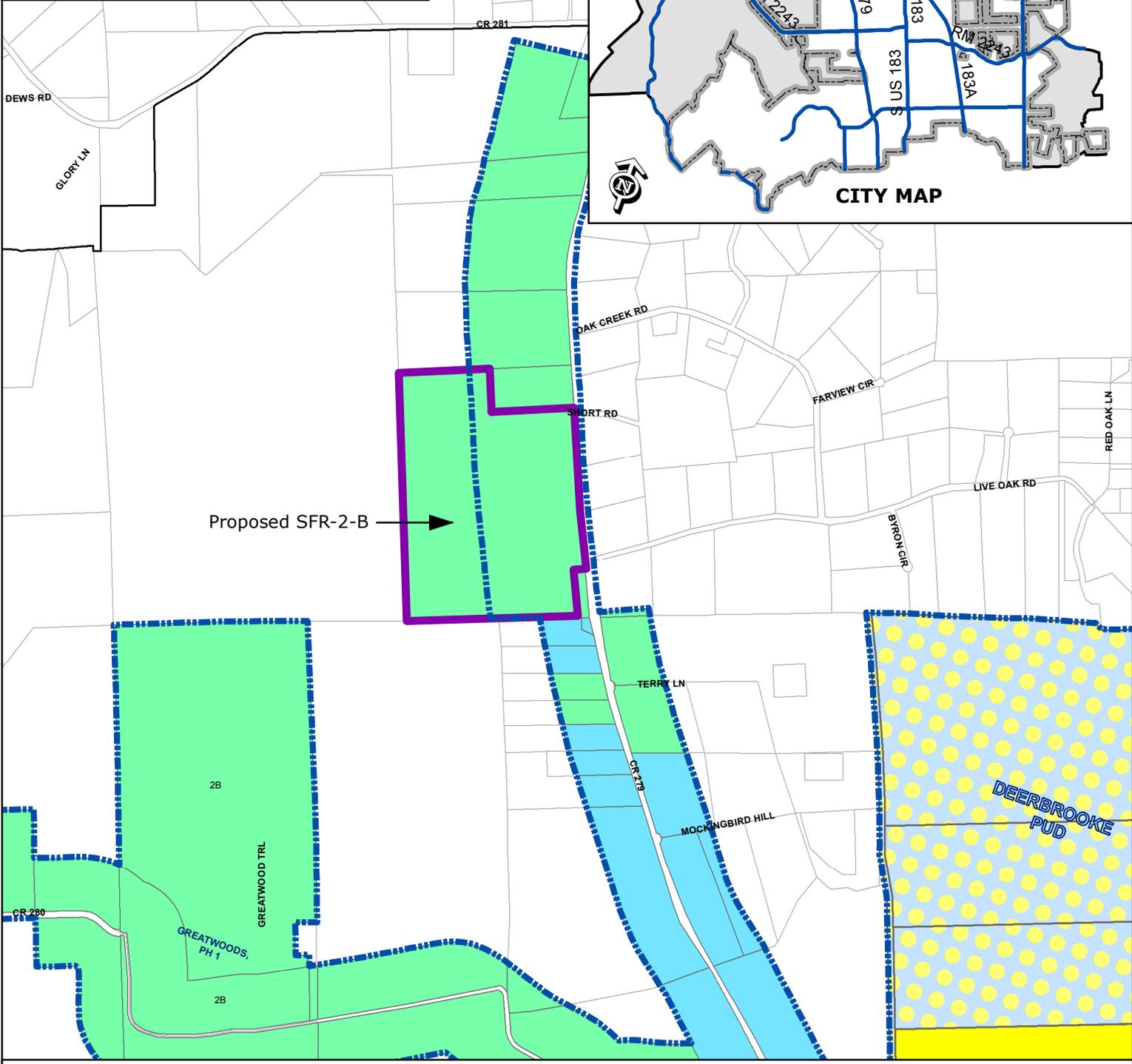
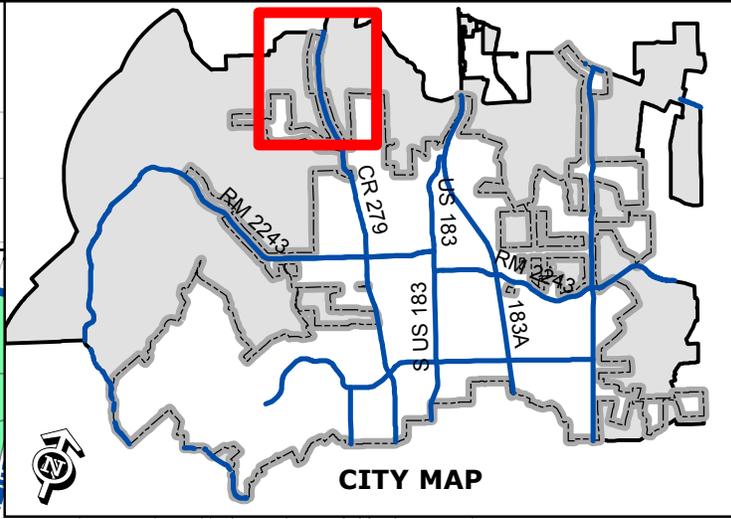
 Subject Property	 Commercial Corridor	 Transit Supportive Mixed Use
 City Limits	 Neighborhood Center	 Station Area Mixed Use
 Open Space	 Community Center	 Old Town Mixed Use
 Mixed Use Corridor	 Activity Center	 Employment Mixed Use
	 Industrial District	
	 Neighborhood Residential	





0 200
Feet

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.

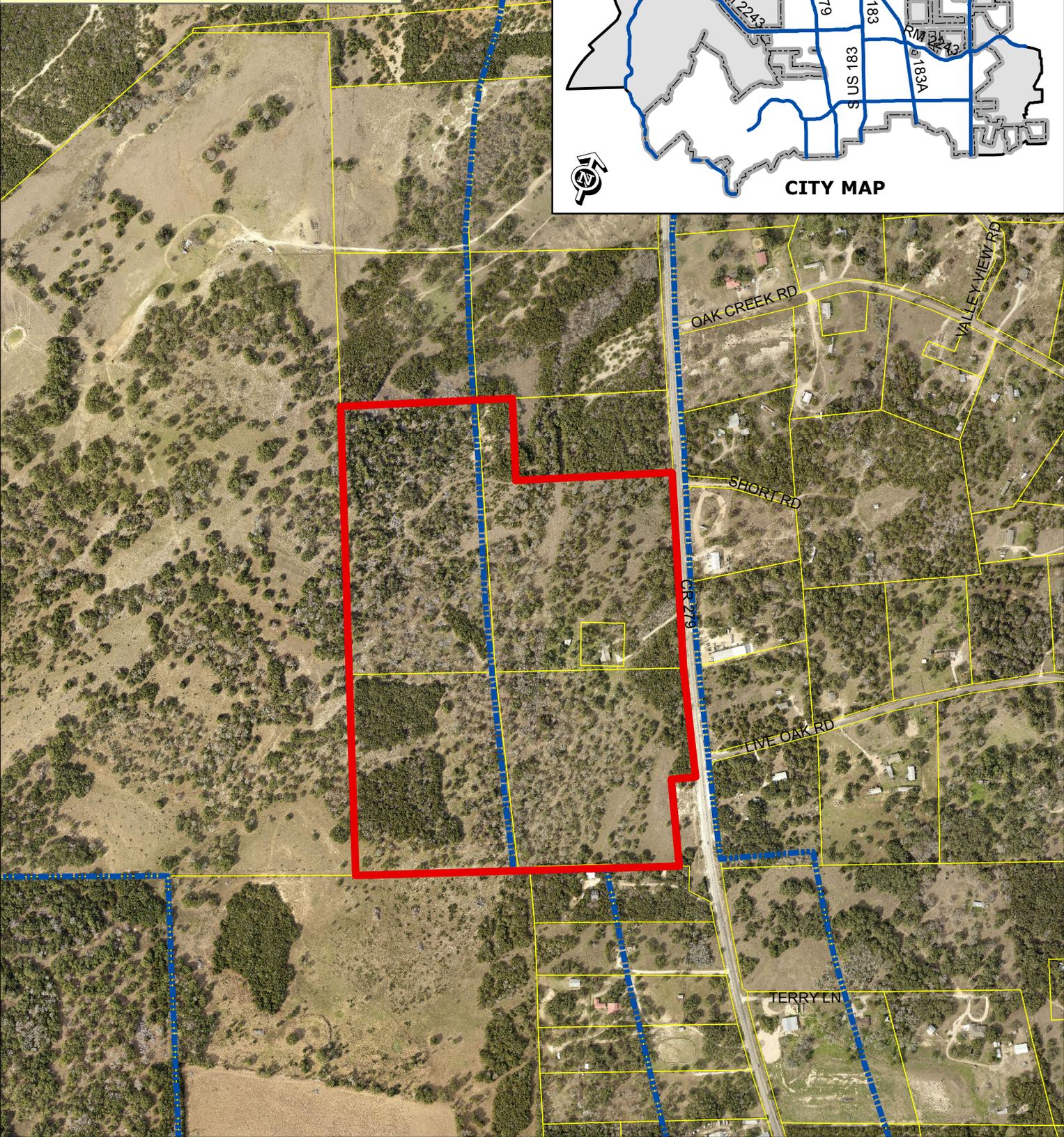
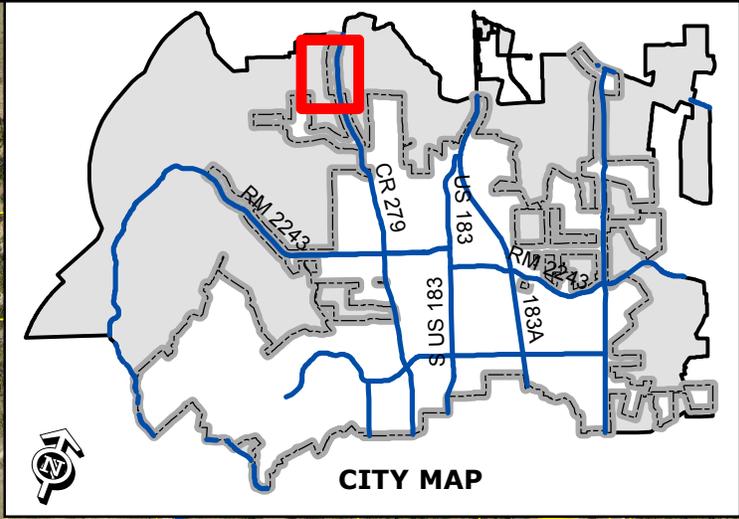


ZONING CASE 16-Z-007 Attachment #5 Proposed Zoning Map - San Gabriel Whitt Ranch

City Limits	SFR	SFL	LO	PUD - Commercial
Subject Property	SFE	SFT	LC	PUD - Mixed Use
	SFS	SFU/MH	GC	PUD - Multi-Family
	SFU	TF	HC	PUD - Townhomes
	SFC	MF	HI	PUD - Single-Family



This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



ZONING CASE 16-Z-007 Attachment #6

Aerial Exhibit - Approximate Boundaries
San Gabriel Whitt Ranch



-  Subject Property
-  City Limits

ATTACHMENT 7



February 25, 2016

City of Leander Planning Dept.
104 North Brush Street
P.O Box 319
Leander, TX 78646-0319

Re: Whitt Ranch
Zoning Change Application – Letter of Intent

San Gabriel Witt Ranch, LLC is requesting a zoning change for 77 acres on Bagdad Rd CR 279. The change is being requested in order to develop a residential subdivision on the property. Currently the portion of the property that is in Leander City Limits is zoned SFR-1-B and by ordinance when the western portion of the property is annexed, the default interim zoning will be SFR-1-B. The owner's intent is to have the entire parcel zoned as SFR-2-B in order to give future residents more flexibility on the size of accessory buildings/structures.

If you have any questions or require additional information please feel free to contact me.

Sincerely,
Matkin-Hoover Engineering & Surveying

A handwritten signature in blue ink, appearing to read 'Garrett Keller'.

Garrett D. Keller, P.E.
Project Manager