



AGENDA

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~ June 9, 2016 at 7:00 pm

**Place 1 Chris Schwendenmann
Place 2 Morgan Cotten
Place 3 Jason Anderson
Place 4 Sid Sokol - Chair**

**Place 5 Richard Allen – Vice Chair
Place 6 Angela Means
Place 7 Marshall Hines**

1. Call to Order
2. Roll Call
3. Approval of Minutes:
Regular Planning & Zoning Meeting: May 26, 2016
4. Director's report to P & Z Commissioners on actions taken by the City Council at the June 2, 2016 meeting.
5. Review meeting protocol
6. Citizen Communications - Three (3) minutes of time is allowed, per speaker

Consent Agenda

7. Subdivision Case 15-SFP-017: Consider action on the Integrated Metal & Products Lot 1A, Block A, Short Form Final Plat, being a replat for 2.960 acres more or less; WCAD Parcel R457663; generally located 1,138 ft east from the southeast corner of the intersection of N. Bagdad Rd and Old 2243 W.; Leander, Williamson County, Texas. Applicant/Agent: Jason Horowitz on behalf of DADSBAGGS EAST LP.

8. Subdivision Case 16-FP-006: Consider action on the Carneros Ranch, Section 7 Final Plat for 17.851 acres more or less; WCAD Parcels R430194; generally located to the northwest of the intersection of Marsala Circle and Bagdad Road; Leander, Williamson County, Texas. Applicant/Agent: Jim Cook (CSF) on behalf of Emmet J. Hawkes & Sally Hawkes.

Public Hearing

9. Zoning Case 16-Z-013: Hold a public hearing and consider action on the rezoning of 65.25 acres more or less out of the Walter Campbell Survey; generally located to the southwest of the intersection of Crystal Falls Pkwy and 183A Toll; WCAD ID R031201, R080605, R432787, R031200, R328187, and R432786. Currently, the property is zoned GC-2-A (General Commercial), LC-2-A (Local Commercial), LO-2-A (Local Office), and SFT-2-A (Single-Family Townhome). The applicant is proposing to zone the property to PUD (Planned Unit Development) with a base zoning district of GC-2-A (General Commercial), MF-2-A (Multi-Family), or any other more restrictive district; Leander, Williamson County, Texas. Applicant: City of Leander on behalf of Premas Global Leander, LLC.
 - a) Staff Presentation
 - b) Applicant Presentation
 - c) Open Public Hearing
 - d) Close Public Hearing
 - e) Discussion
 - f) Consider Action

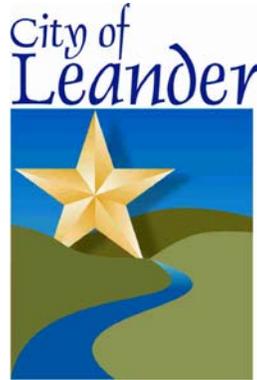
10. Zoning Case 16-Z-006: Hold a public hearing and consider action on the rezoning of 50.615 acres more or less out of the C. Ybarbo Survey, No. 420 and the C.C. Chafin Survey No. 78, generally located to the west of the intersection of Crystal Falls Pkwy and Lakeline Blvd, more specifically to the west of the Fairways at Crystal Falls, Section 5 Subdivision; TCAD ID 796313. Currently, the property is zoned SFS-2-B (Single-Family Suburban). The applicant is proposing to zone the property to PUD (Planned Unit Development) with a base zoning district of MF-2-A (Multi-Family), Leander, Travis County, Texas. Applicant: Mike Siefert on behalf of Lookout Partners, LP.
 - a) Staff Presentation
 - b) Applicant Presentation
 - c) Open Public Hearing
 - d) Close Public Hearing
 - e) Discussion
 - f) Consider Action

Meeting Adjourned at

CERTIFICATION

This meeting will be conducted pursuant to the Texas Government Code Section 551.001 et seq. At any time during the meeting the P & Z Commission reserves the right to adjourn into executive session on any of the above posted agenda items in accordance with the sections 551.071 [litigation and certain consultation with attorney], 551.072 [acquisition of interest in real property], 551.073 [contract for gift to city], 551.074 [certain personnel deliberations] or 551.076 [deployment/implementation of security personnel or devices]. The City of Leander is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please call the City Secretary at (512) 528-2743 for information. Hearing impaired or speech disabled persons equipped with telecommunication devices for the deaf may call (512) 528-2800. I certify that the above agenda for this meeting of the P & Z Commission of the City of Leander, Texas, was posted on the bulletin board at City Hall in Leander, Texas on the 3rd day of June, 2016 by 5:00 pm pursuant to Chapter 551 of the Texas Government Code.

Robin Griffin – Senior Planner



Minutes

**PLANNING & ZONING COMMISSION MEETING
CITY OF LEANDER, TEXAS
Pat Bryson Municipal Hall ~ 201 North Brushy Street
Leander, Texas**

Thursday ~ May 26, 2016 at 7:00 pm

**Place 1 Chris Schwendenmann
Place 2 Morgan Cotten
Place 3 Jason Anderson
Place 4 Sid Sokol - Chair**

**Place 5 Richard Allen – Vice Chair
Place 6 Angela Means
Place 7 Marshall Hines**

1. Call to Order
Meeting called to order at 7:01 pm
2. Roll Call
All Commissioners were present except Vice Chair Allen.
3. Approval of Minutes:
Regular Planning & Zoning Meeting: May 12, 2016
Motion made by Commissioner Anderson to approve the minutes, seconded by Commissioner Schwendenmann. Motion passed unanimously.
4. Director's report to P & Z Commissioners on actions taken by the City Council at the May 19, 2016 meeting. **Tom Yantis, Assistant City Manager, reported on actions taken by the City Council at May 19, 2016 meeting.**
5. Review meeting protocol
Chairman Sokol referred to the printed meeting protocol.
6. Citizen Communications - Three (3) minutes of time is allowed, per speaker
No citizen wished to speak.

Consent Agenda

7. Subdivision Case 16-PP-001: Consider action on the Valley Vista Preliminary Plat for 51.35 acres more or less; WCAD Parcels R473803, R497583, R497581, and R510101; generally located ½ mile north from the northwest corner of the intersection of CR 274 and Ronald W Reagan Blvd., Williamson County, Texas. Applicant/Agent: Shawn Graham on behalf of Robert Tesch.

Item # 7 was pulled from the consent agenda in order to add the condition that the System Reservation Fee for wastewater service is paid.

Commissioner Hines moved to approve the Valley Vista Preliminary Plat with the condition. Commissioner Schwendenmann seconded the motion. Motion passed unanimously.

8. Subdivision Case 15-FP-004: Consider action on the Borho Ph. 7 Final Plat for 16.437 acres more or less; WCAD Parcel R031532; generally located 100 ft. east from the southeast corner of the intersection of Cherry Bark Dr. & Sycamore Fig Bend; Leander, Williamson County, Texas. Applicant/Agent: James Huffcut on behalf of Meritage Homes of Texas LLC.

Commissioner Anderson moved to approve the consent agenda with staff recommendations. Commissioner Means seconded the motion. Motion passed unanimously.

Regular Agenda

9. Subdivision Case 12-PP-005: Consider action on the extension of the expiration of the Reagan's Overlook Preliminary Plat for 253.07 acres more or less; including Reagan's Overlook Phases 1 & 2 and WCAD Parcels R032354 and R524615; generally located near the northeast corner of the intersection of RM 2243 and Ronald Reagan Boulevard; Williamson County, Texas. Applicant/Agent: Adib Khoury on behalf of Century Communities.

a) Staff Presentation

Robin Griffin, Senior Planner discussed the extension process.

b) Applicant Presentation

Tom Moody explained why they are asking for an extension.

c) Open Public Hearing

**Chair Sokol opened the public hearing
No one wished to speak.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Hines moved to approve the extension of Reagan's Overlook Preliminary Plat for two years, Commissioner Anderson seconded the motion. Motion passed unanimously.

Public Hearing

10. Subdivision Case 15-CP-010: Hold a public hearing and consider action on the Greatwood South Concept Plan, for 119.93 acres more or less; WCAD Parcels R031730, R473812 generally located at the northwest corner of the future intersection of Lakeline Blvd. and San Gabriel Pkwy. Leander, Williamson County Texas. Applicant: Danny Martin on behalf of J.L. Development Inc. (John Lloyd).

a) Staff Presentation

Martin Siwek, Planner, discussed the Concept Plan for Greatwood South.

b) Applicant Presentation

Danny Martin was present for questions.

c) Open Public Hearing

**Chair Sokol opened the public hearing
No one wished to speak.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Cotten moved to approve the Greatwood South Concept Plan, Commissioner Schwendemann seconded the motion. Motion passed unanimously.

11. Comprehensive Plan Amendment Case 16-TOD-CPA-001: Hold a public hearing and consider action on a Comprehensive Plan amendment requesting a change to the Transportation Plan. The applicant is proposing to remove proposed collector roadway C12 from the Transportation Plan. This roadway is located between Broade Street and US 183 to the north of San Gabriel Pkwy; Leander, Williamson County, Texas. Applicant Angelica Andersson on behalf of RSI Maya Vista LLC.

a) Staff Presentation

Robin Griffin, Senior Planner discussed the reason for the Comprehensive Plan amendment.

b) Applicant Presentation

Angelica Andersson and Blake Yantis were present for questions.

c) Open Public Hearing

**Chair Sokol opened the public hearing
No one wished to speak.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Hines moved to approve the Comprehensive Plan amendment per staff recommendation, Commissioner Means seconded the motion. Motion passed unanimously.

12. Zoning Case 16-Z-011: Hold a public hearing and consider action on the rezoning of 1.384 acres more or less out of the William W. Hornsby Survey, located at 14000 Nameless Road, TCAD ID 354061. Currently, the property is zoned Interim SFR-1-B (Single-Family Rural). The applicant is proposing to zone the property to LO-2-B (Local Office), Leander, Travis County, Texas. Applicant: James & Jody Giddens on behalf of 6J Family Limited Partnership/6J GP, LLC (General Partner).

a) a) Staff Presentation

Martin Siwek, Planner, discussed the purpose for the zoning request.

b) Applicant Presentation

James and Jody Giddens were present for questions and explained what was on the property now and the reason for the zoning request.

c) Open Public Hearing

**Chair Sokol opened the public hearing
No one wished to speak.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Schwendenmann moved to approve the zoning request of LO-2-B (Local Office), Commissioner Hines seconded the motion. Motion passed unanimously.

13. Zoning Case 16-Z-009: Hold a public hearing and consider action on the rezoning of 10.922 acres more or less out of the M.S. Hornsby Survey, generally located to the northwest corner of Crystal Falls Pkwy and Lakeline Blvd, WCAD ID R526317, R526318, & R514375. Currently, the property is zoned GC-3-B (General Commercial). The applicant is proposing to zone the property to PUD (Planned Unit Development) with base zoning districts of MF-2-A (Multi-Family) and LC-2-A (Local Commercial), Leander, Williamson County, Texas. Applicant: Adam Diskin on behalf of Bliss at Mason Hills, LLC.

a) Staff Presentation

Robin Griffin, Senior Planner, discussed the purpose for the zoning request and discussed staff recommendations.

b) Applicant Presentation

Jeff Sweazea explained the reason for the zoning request and answered Commissioners questions.

c) Open Public Hearing

**Chair Sokol opened the public hearing
Addie Sassman spoke against.**

d) Close Public Hearing

Chair Sokol closed the public hearing.

e) Discussion

Discussion took place.

f) Consider Action

Commissioner Schwendenmann moved to approve the zoning request of PUD (Planned Unit Development) with base zoning districts of MF-2-A (Multi-Family) and LC-2-A (Local Commercial), with the following conditions:

- 1. The sidewalk connecting Lakeline Blvd and Crystal Falls Pkwy shall be constructed of concrete and match the Lakeline Blvd sidewalk width. The intersections of the new sidewalk with the sidewalks on Lakeline and Crystal Falls shall be designed as "y" intersections instead of "t" intersections if feasible.**
- 2. Update the masonry requirements for the residential buildings to include a limit of 35% stucco.**

Commissioner Hines seconded the motion. Motion passed 5 to 1 with Commissioner Means opposing.

Meeting Adjourned at 8:15 pm

Chairman Sokol

ATTEST:

Ellen Pizalate, Secretary



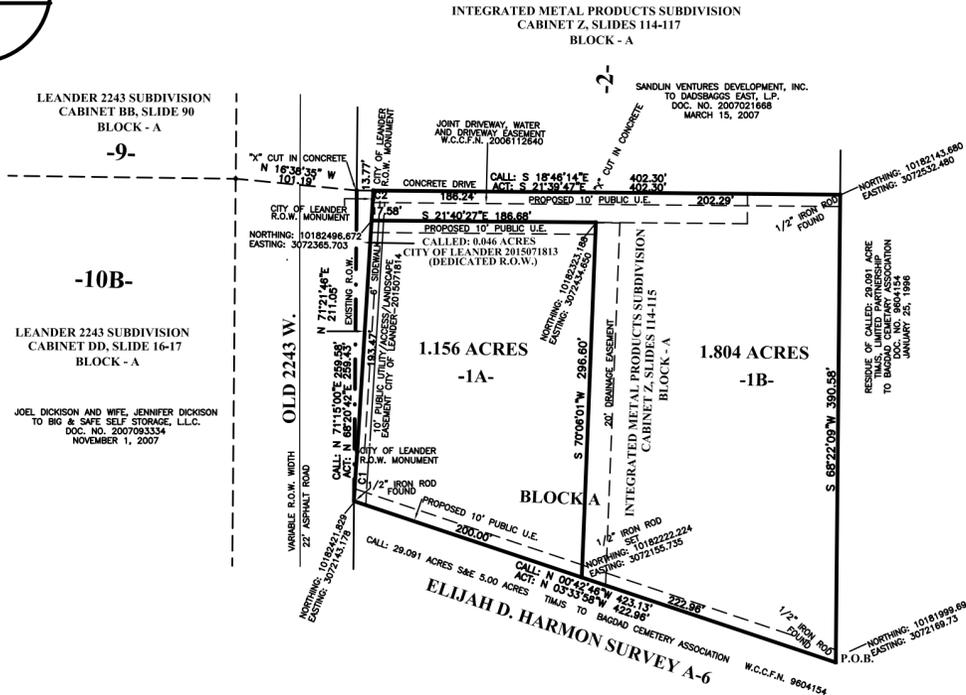
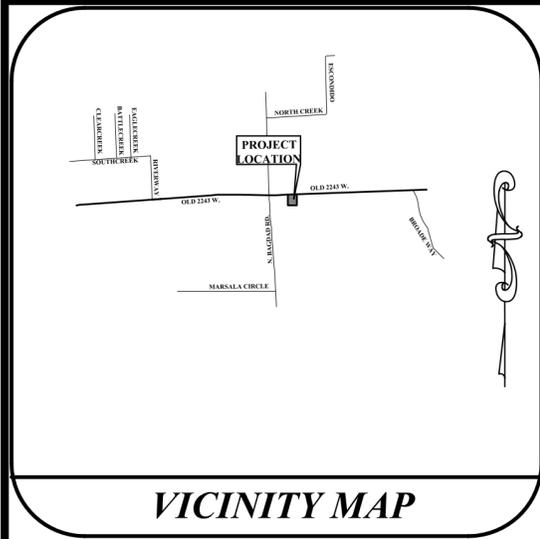
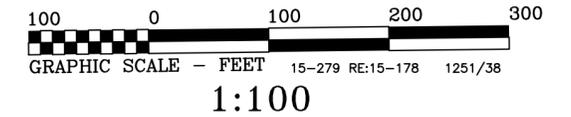
EXECUTIVE SUMMARY

JUNE 9, 2016

-
- Agenda Subject:** Subdivision Case 15-SFP-017: Consider action on the Integrated Metal & Products Lot 1A, Block A, Short Form Final Plat, being a replat for 2.960 acres more or less; WCAD Parcel R457663; generally located 1,138 ft east from the southeast corner of the intersection of N. Bagdad Rd and Old 2243 W.; Leander, Williamson County, Texas.
- Background:** This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the short form final plat satisfies the applicable regulations without requesting any variances.
- Origination:** Applicant/Agent: Jason Horowitz on behalf of DADSBAGGS EAST LP.
- Financial Consideration:** None
- Recommendation:** This final plat includes 2 non-residential lots. This proposal meets all of the requirements of the Subdivision Ordinance, and staff recommends approval of the final plat.
- Motion:** The Planning & Zoning Commission recommends approval of the short form final plat for the subject property.
- Attachments:** 1. Final Plat
- Prepared By:** Martin Siwek, AICP, GISP
Planner

06/03/2016

**INTEGRATED METAL PRODUCTS SUBDIVISION
LOT 1A & 1B, BLOCK-A REPLAT
BEING A REPLAT OF
LOT 1, BLOCK A
INTEGRATED METAL PRODUCTS SUBDIVISION
CABINET Z, SLIDES 114-115
CITY OF LEANDER
WILLIAMSON COUNTY, TEXAS**



| Curve | Radius | Tangent | Length | Delta | Degree | Chord | Chord Bear. |
|-------|----------|---------|--------|----------|----------|--------|---------------|
| C1 | 993.00' | 20.64' | 41.28' | 2°22'54" | 5°46'12" | 41.27' | N 71°38'03" E |
| C2 | 1087.00' | 3.71' | 7.42' | 0°23'28" | 5°16'16" | 7.42' | N 70°34'53" E |

LAND USE SUMMARY: NON-RESIDENTIAL
TOTAL ACREAGE: 2.960 ACRES
LOT 1A: 1.156 ACRES
LOT 1B: 1.804 ACRES

OWNER: DADSBAGGS EAST, LP
510 WEST 5TH STREET
AUSTIN, TEXAS 78701
512-306-0010
SANDLIN@SANDLINDEVELOPMENT.COM

ENGINEER: GRESHAM SMITH & PARTNERS
511 UNION STREET
NASHVILLE, TN 37219
615-770-8100

DEVELOPER: GBT REALTY CORPORATION
9010 OVERLOOK BOULEVARD
BRENTWOOD, TN 37027
615-370-0670

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | | |
|------|-----------------------|------|---------------------|
| ⊙ | WATER VALVE | ○ | LIGHT POLE |
| —SS— | SANITARY SEWER | * | GUY ANCHOR |
| ⊠ | PEDESTAL BOX | ○ | MANHOLE |
| —X— | FENCE | ⚡ | FIRE HYDRANT |
| —P— | POWER LINE | ♿ | HANDICAPPED PARKING |
| ⊠ | WATER METER | □ | PROPERTY CORNER |
| ● | POWER POLE | ⊠ | ELECTRIC BOX |
| —W— | WATER LINE | —II— | GAS PIPELINE |
| —T— | TELEPHONE LINE | ⊙ | GAS VALVE |
| —FO— | FIBER OPTIC LINE | —C— | UNDERGROUND CABLE |
| ⊙ | UNDERGROUND CABLE BOX | | |

JOHN COWAN & ASSOCIATES, INC.
2012 ANTHONY DRIVE, TYLER, TEXAS 75701
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FIRM REGISTRATION CERTIFICATION NO. 10025500

2770 MAIN STREET, STE. 245, FRISCO, TEXAS 75033
PH: (214) 504-5305 FAX: (903) 561-0600
FIRM REGISTRATION CERTIFICATION NO. 10194055

GENERAL NOTES

THAT DADSBAGGS EAST, LP., A TEXAS LIMITED PARTNERSHIP, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED AGENT, SANDLIN NICCUM, OWNER OF SAID TRACT OF LAND, OUT OF THE ELIJAH D. HARMON SURVEY, ABSTRACT NO. 6, WILLIAMSON COUNTY, TEXAS, AND BEING ALL OF LOT 1, BLOCK A, OF THE INTEGRATED METAL PRODUCTS SUBDIVISION, RECORDED IN CABINET Z, SLIDES 114-115 (DOC. NO. 2004073315) OF THE WILLIAMSON COUNTY PLAT RECORDS, DO HEREBY SUBDIVIDE SAID LOT 1 IN ACCORDANCE WITH APPLICABLE ORDINANCES OF THE CITY OF LEANDER, TEXAS AND WILLIAMSON COUNTY, TEXAS, TO BE KNOWN AS:

INTEGRATED METAL PRODUCTS SUBDIVISION, LOT 1A, BLOCK A REPLAT

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL ADDITIONAL ROW, STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES TO PUBLIC USE, OR, WHEN THE SUBDIVISION HAS MADE PROVISION FOR PERPETUAL MAINTENANCE THEREOF, TO THE INHABITANTS OF THE SUBDIVISION, AS SHOWN HEREON, EXCEPT THOSE AREAS INDICATED AS PRIVATE EASEMENTS, OR CREATED UNDER SEPERATE INSTRUMENT, SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

DADSBAGGS EAST, L.P.

BY: SANDLIN VENTURES DEVELOPMENT, INC.
ITS: GENERAL PARTNER

BY: _____
SANDLIN NICCUM, PRESIDENT

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

§ KNOW ALL MEN BY THESE PRESENTS

Before me, _____, on this day personally appeared Sandlin Niccum, President of Sandlin Ventures Development, Inc., general partner of Dadsbaggs East, L.P. a Texas limited partnership, on behalf of such limited partnership, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he or she executed the same for the purposes and consideration therein expressed.
Given under my hand and seal of office this ____ day of _____, _____.

Notary Public's Signature _____

My Commission Expires: _____

ENGINEER STATEMENT:

NO LOT IN THIS SUBDIVISION IS ENCLOSED BY ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100 YEAR FLOOD AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANGEMENT AGENCY BOUNDARY MAP, (FLOOD INSURANCE RATE MAP), MAP NO. 48491C0455E, EFFECTIVE DATE OF SEPTEMBER 26, 2008 FOR WILLAMSON COUNTY, TEXAS.

NO STRUCTURE OR LAND ON THIS PLAT SHALL HEREAFTER BE LOCATED OR ALTERED WITHOUT FIRST SUBMITTING A CERTIFICATE OF COMPLIANCE TO THE WILLIAMSON COUNTY FLOOD PLAIN ADMINISTRATOR.

THIS TRACT IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.

I, PHILIP W. CORNETT, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SUREVYING, AND HEREBY CERTIFY THAT THIS PLAT CONFORMS WITH APPLICABLE ORDINANCES OF THE CITY OF LEANDER, TEXAS AND WILLIAMSON COUNTY, TEXAS AND THAT ALL EXISTING EASEMENTS OF RECORD, LISTED IN THE TITLE COMMITMENT GF NO. 1002-143125-RTT DATED MARCH 16, 2015 WHICH AFFECT THIS SUBDIVISION ARE SHOWN.

PHILIP W. CORNETT, R.P.L.S. DATE
TEXAS REGISTRATION NO. 5515
JOHN COWAN & ASSOCIATES, INC.
2012 ANTHONY DRIVE
TYLER, TEXAS 75701

1. This subdivision is wholly contained within the current corporate limits of the City of Leander, Texas.
2. No lot in this subdivision shall be occupied until connected to the City of Leander water distribution and wastewater collection facilities.
3. A Building Permit is required from the City of Leander prior to construction of any building or site improvements on any lot in this subdivision.
4. No buildings, fences, landscaping or other structures are permitted within drainage easements shown except as approved by the City of Leander Public Works Department.
5. Property owner shall provide for access to drainage easements as may be necessary and shall not prohibit access by the City of Leander.
6. All easements on private property shall be maintained by the property owner or his or her assigns.
7. In addition to the easement shown hereon, a ten (10) foot wide public utility easement is dedicated along and adjacent to all right-of-way and a two and a half (2.5) foot wide public utility easement is dedicated along all side lot lines.
8. No portion of this tract is within a flood hazard area as shown on the Flood Insurance Rate Map Panel # 48491C0455E for Williamson Co., effective September 26, 2008.
9. Building setbacks not shown hereon shall comply with the most current zoning ordinance of the City of Leander. Additional residential garage setbacks may be required as listed in the current zoning ordinance.
10. Sidewalks shall be installed on the subdivision side of Old 2243 W. Those sidewalks not abutting a residential, commercial or industrial lot (including sidewalks along street frontages of lots proposed for schools, churches, park lots, detention lots, drainage lots, landscape lots, or similar lots), sidewalks on arterial streets to which access is prohibited, sidewalks on double frontage lots on the side to which access is prohibited, and all sidewalks on safe school routes shall be installed when the adjoining street is constructed.
11. All utility lines must be located underground.
12. This subdivision is subject to all general notes and restrictions appearing on the plat of Integrated Metal Products Subdivision, Lot 1, recorded at Cabinet Z, Slides 114-115 of Plat Records of Williamson County, Texas.
13. All drive lanes, fire lanes, and driveways within this subdivision shall provide for reciprocal access for ingress and egress to all other lots within the subdivision and to adjacent properties.

LEGAL DESCRIPTION SHOWN HEREON.

BEARINGS ARE ORIENTED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS CENTRAL ZONE 4203.

CONTOUR INTERVAL = 0.5'

STATE OF TEXAS § § KNOW ALL MEN BY THESE PRESENTS: COUNTY OF WILLIAMSON §

I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DAY OF _____, 20____, AD, AT _____ O'CLOCK, _____M, AND DULY RECORDED THIS THE DAY OF _____ 20____, AD, AT _____ O'CLOCK _____M, IN THE PLAT RECORDS OF SAID COUNTY IN CABINET _____, SLIDE _____.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST SHOWN ABOVE WRITTEN.

NANCY RISTER, CLERK COUNTY COURT OF WILLIAMSON COUNTY, TEXAS

BY: _____ DEPUTY

AS SURVEYED LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, being part of the Elijah D. Harmon Survey, Abstract No. 6, Williamson County, Texas, part of Lot 1, Block A of the Integrated Metal Products Subdivision, as shown by plat of same recorded in Cabinet Z, Slides 114-115 of the Plat Records of Williamson County, Texas, being more completely described as follows, to-wit:

BEGINNING at a ½" iron rod (found) for the Southwest corner of the above mentioned Lot 1, in the East line of the Bagdad Cemetery Association 29.091 acre tract described in C.C.F.N. 9604154;

THENCE North 03 deg. 33 min. 58 sec. West with the East line of the 29.091 acre tract and the West line of Lot 1, a distance of 422.96 ft. to a ½" iron rod (found) for the Northwest corner of same, the Northeast corner of the 29.091 acre tract, in the South right of way of Old 2243 W. and a curve to the right;

THENCE northeasterly with the South right of way of Old 2243 W. and said curve to the right, having a radius of 993.00 ft, a chord of North 71 deg. 38 min. 03 sec. East - 41.27 ft, a distance of 41.28 ft. to a City of Leander right of way monument (found) for corner;

THENCE North 71 deg. 21 min. 46 sec. East with the South right of way of Old 2243 W., a distance of 211.05 ft. to a ½" iron rod (set) for corner and the p.c. of a curve to the right;

THENCE northeasterly with the South right of way of Old 2243 W. and said curve to the right, having a radius of 1087.00 ft., a chord of North 70 deg. 34 min. 53 sec. East - 7.42 ft., a distance of 7.42 ft. to a City of Leander right of way monument (found) for corner, the Northeast corner of Lot 1, the Northwest corner of the Lot 2;

THENCE South 21 deg. 39 min. 47 sec. East with the East line of Lot 1, the West line of Lot 2, a distance of 402.30 ft. to a ½" iron rod (found) for the Southwest corner of same, the Southeast corner of Lot 1, in the North line of the 29.091 acre tract;

THENCE South 68 deg. 22 min. 09 sec. West with the South line of Lot 1, the North line of the 29.091 acre tract, a distance of 390.58 ft. to the place of beginning, containing 2.960 acres of land.

Approved this the ___ day of ___, 20___ A.D. at a public meeting of the Planning and Zoning Commission of the City of Leander, Texas and authorized to be filed for record by the County Clerk of _____ County.

Sid Sokol, Chairman
Planning and Zoning Commission
City of Leander, Texas

ATTEST: _____
Ellen Pizalate, Secretary
Planning and Zoning Commission
City of Leander, Texas

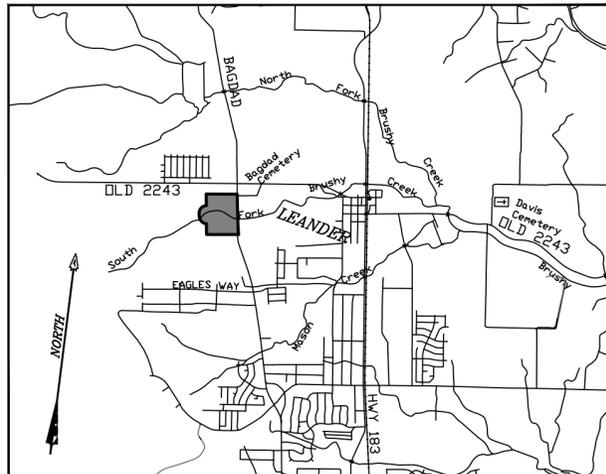
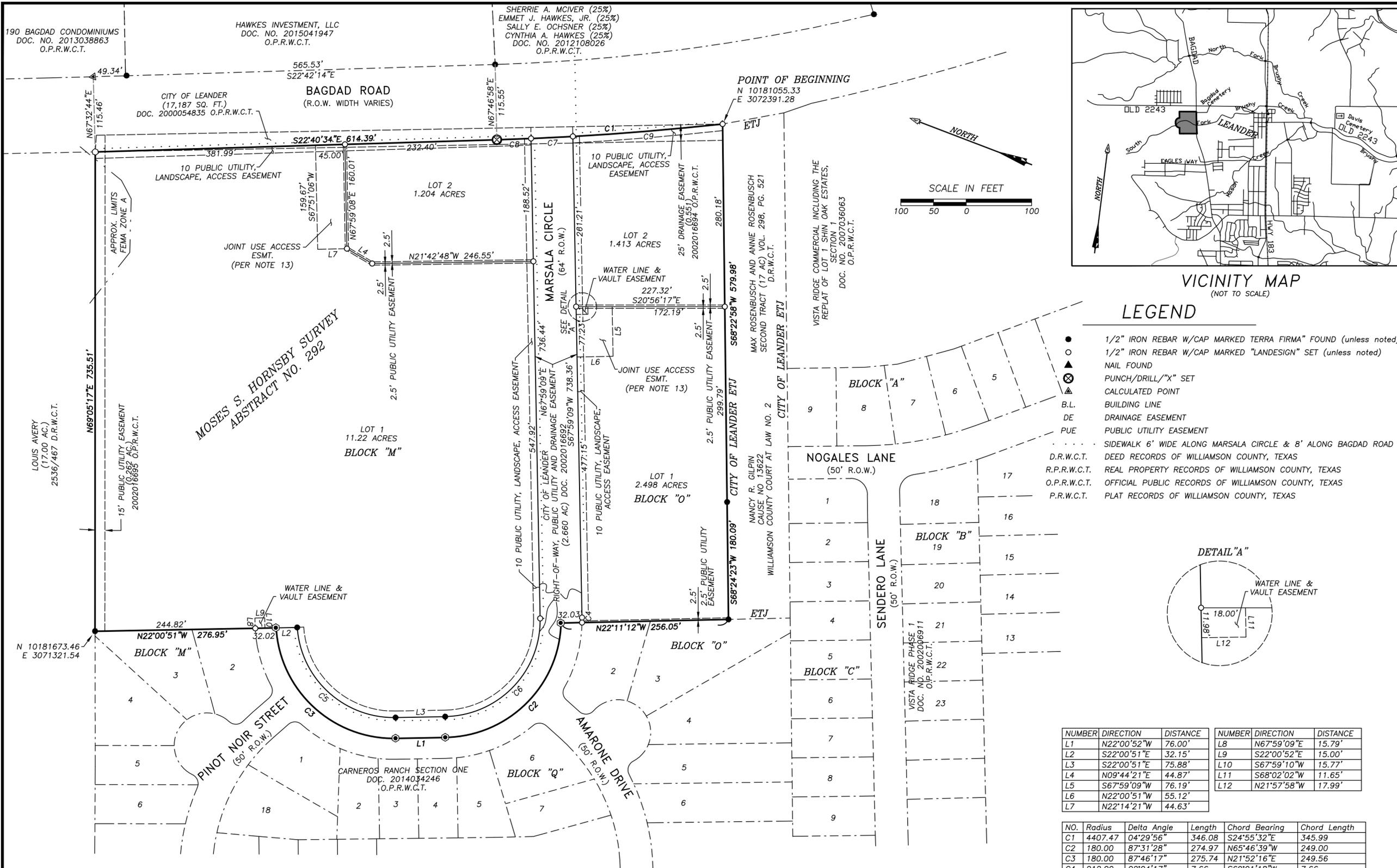
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EXECUTIVE SUMMARY

JUNE 09, 2016

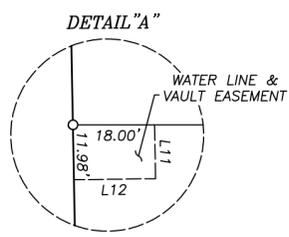
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- Agenda Subject:** Subdivision Case 16-FP-006: Consider action on the Carneros Ranch, Section 7 Final Plat for 17.851 acres more or less; WCAD Parcels R430194; generally located to the northwest of the intersection of Marsala Circle and Bagdad Road; Leander, Williamson County, Texas.
- Background:** This request is the final step in the subdivision process. Pursuant to Section 212.005 of the Texas Local Government Code, approval by municipality is required since the final plat satisfies the applicable regulations without requesting any variances.
- Origination:** Applicant/Agent: Jim Cook (CSF) on behalf of Emmet J. Hawkes & Sally Hawkes.
- Financial Consideration:** None
- Recommendation:** This final plat includes 2 multi-family lots and 2 local office lots. This proposal meets all of the requirements of the Subdivision Ordinance. Staff recommends approve the final plat.
- Motion:** The Planning & Zoning Commission recommends approval of the final plat for the subject property.
- Attachments:** 1. Final Plat
- Prepared By:** Robin M. Griffin, AICP
Senior Planner
- 06/02/2016



VICINITY MAP
(NOT TO SCALE)

LEGEND

- 1/2" IRON REBAR W/CAP MARKED "TERRA FIRMA" FOUND (unless noted)
- 1/2" IRON REBAR W/CAP MARKED "LANDESIGN" SET (unless noted)
- ▲ NAIL FOUND
- ⊗ PUNCH/DRILL/"X" SET
- ▲ CALCULATED POINT
- B.L. BUILDING LINE
- DE DRAINAGE EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- SIDEWALK 6' WIDE ALONG MARSALA CIRCLE & 8' ALONG BAGDAD ROAD
- D.R.W.C.T. DEED RECORDS OF WILLIAMSON COUNTY, TEXAS
- R.P.R.W.C.T. REAL PROPERTY RECORDS OF WILLIAMSON COUNTY, TEXAS
- O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS
- P.R.W.C.T. PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS



| NUMBER | DIRECTION | DISTANCE | NUMBER | DIRECTION | DISTANCE |
|--------|-------------|----------|--------|-------------|----------|
| L1 | N22°00'52"W | 76.00' | L8 | N67°59'09"E | 15.79' |
| L2 | S22°00'51"E | 32.15' | L9 | S22°00'52"E | 15.00' |
| L3 | S22°00'51"E | 75.88' | L10 | S67°59'10"W | 15.77' |
| L4 | N09°44'21"E | 44.87' | L11 | S68°02'02"W | 11.65' |
| L5 | S67°59'09"W | 76.19' | L12 | N21°57'58"W | 17.99' |
| L6 | N22°00'51"W | 55.12' | | | |
| L7 | N22°14'21"W | 44.63' | | | |

| NO. | Radius | Delta Angle | Length | Chord Bearing | Chord Length |
|-----|---------|-------------|--------|---------------|--------------|
| C1 | 4407.47 | 04°29'56" | 346.08 | S24°55'32"E | 345.99 |
| C2 | 180.00 | 87°31'28" | 274.97 | N65°46'39"W | 249.00 |
| C3 | 180.00 | 87°46'17" | 275.74 | N21°52'16"E | 249.56 |
| C4 | 212.00 | 02°04'17" | 7.66 | S69°01'18"W | 7.66 |
| C5 | 148.00 | 87°17'19" | 225.47 | S21°37'49"W | 204.29 |
| C6 | 148.00 | 89°58'40" | 232.42 | S67°00'16"E | 209.26 |
| C7 | 4407.47 | 00°49'57" | 64.03 | S23°46'21"E | 64.03 |
| C8 | 4407.47 | 00°40'49" | 52.33 | S23°00'58"E | 52.33 |
| C9 | 4407.47 | 02°59'11" | 229.72 | S25°40'55"E | 229.69 |

OWNER: EMMET J. HAWKES & SALLY HAWKES
213 W FIGUEROA STREET
SANTA BARBARA, CA 93101

SURVEYOR: LANDESIGN SERVICES, INC.
1220 McNEIL ROAD, SUITE 200
ROUND ROCK, TEXAS 78681
FIRM REGISTRATION NO. 10001800

ENGINEER: CSF CIVIL GROUP, LLC
3636 EXECUTIVE CENTER DRIVE SUITE 209
AUSTIN, TEXAS 78731
TBPE REG. NO. F-12377

SUBMITTAL DATE: FEBRUARY 23, 2016

CARNEROS RANCH SECTION SEVEN

AREA: 17.851 ACRES

SURVEY: MOSES S. HORNSBY
SURVEY ABSTRACT NO. 292

LOTS: 2 MULTI-FAMILY (LOT 1, BLOCK M & LOT 1, BLOCK O)
2 LOCAL OFFICE (LOT 2, BLOCK M & LOT 2, BLOCK O)

BLOCKS: 2

STREET DEDICATION - MARSALA CIRCLE 1371 LF

BENCHMARK:
BM 304, ELEV.:1033.95'
SQUARE CUT ON TOP OF CURB ON THE SOUTH ROW LINE OF
PINOT NIOR STREET, AND THE NORTHWEST CORNER OF LOT 16,
BLOCK N, CARNEROS SECTION 1

TBM 305, ELEV.:1048.97'
SQUARE CUT ON TOP OF CURB ON THE SOUTH ROW LINE OF
AMARONE DRIVE, AND THE NORTHWEST CORNER OF LOT 15,
BLOCK O, CARNEROS SECTION 1

BEARINGS BASIS: TEXAS COORDINATE SYSTEM, CENTRAL ZONE
NAD 83. COORDINATES SHOWN HEREON ARE BASED ON THE
TEXAS COORDINATE SYSTEM, OF 1983 CENTRAL ZONE, DERIVED
BY GPS RTK. DISTANCES SHOWN HEREON ARE SURFACE, SCALE
FACTOR 0.99986 TO GET THE GRID DIVIDE BY SCALE FACTOR
OF 0.99986

LANDESIGN SERVICES, INC.
512-258-7901
1220 McNEIL ROAD
SUITE 200
ROUND ROCK, TEXAS 78681
FIRM REGISTRATION NO. 10001800

FINAL PLAT
CARNEROS RANCH SECTION SEVEN

PROJECT NAME: CARNEROS
JOB NUMBER: 381-15-1
DATE: 02/18/2016
SCALE: 1" = 100'
DRAWING FILE PATH:
L:\CFS CIVIL\CARNEROS_K L ENTERPRISES\DWG
FIELDNOTE FILE PATH:
L:\CFS CIVIL\CARNEROS_K L ENTERPRISES\W&B
RPLS: DRH TECH: HAS PARTYCHIEF: AG
CHECKED BY: JB FIELDBOOKS:

DRAWING NAME:
38101002.DWG

SHEET
1 of 2

FINAL PLAT OF: CARNEROS RANCH SECTION SEVEN LEANDER, TEXAS

THE STATE OF TEXAS {}
THE COUNTY OF WILLIAMSON {}

KNOW ALL MEN BY THE PRESENTS:

THAT EMMET J. HAWKES AND SALLY HAWKES, BEING OWNERS OF THE REMAINDER OF A CALLED 152.580 ACRES BEING CONVEYED BY DEED OF RECORD IN VOLUME 2255, PG. 253, OF THE DEED RECORDS OF WILLIAMSON COUNTY, TEXAS, IN THE MOSES S. HORNSBY SURVEY, ABSTRACT NO. 292 IN WILLIAMSON COUNTY, TEXAS; DO HEREBY SUBDIVIDE 17.851 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS

CARNEROS RANCH, SECTION SEVEN

AND DO HEREBY DEDICATE ALL ADDITIONAL R.O.W., STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC USE, OR, WHEN THE SUBDIVIDER HAS MADE PROVISIONS FOR PERPETUAL MAINTENANCE THEREOF, TO THE INHABITANTS OF THE SUBDIVISION.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20__ A.D.

EMMET J. HAWKES
213 W FIGUEROA STREET
SANTA BARBARA, CA 93101

SALLY HAWKES
213 W FIGUEROA STREET
SANTA BARBARA, CA 93101

ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT

THE STATE OF CALIFORNIA {}
THE COUNTY OF {}

ON THIS THE ____ DAY OF _____, 2016, AD BEFORE ME, _____ (INSERT NAME AND TITLE OF THE OFFICER)

PERSONALLY APPEARED, _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC, STATE OF CALIFORNIA (SEAL)

PRINTED NAME _____ MY COMMISSION EXPIRES _____

ACKNOWLEDGEMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT

THE STATE OF CALIFORNIA {}
THE COUNTY OF {}

ON THIS THE ____ DAY OF _____, 2016, AD BEFORE ME, _____ (INSERT NAME AND TITLE OF THE OFFICER)

PERSONALLY APPEARED, _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC, STATE OF CALIFORNIA (SEAL)

PRINTED NAME _____ MY COMMISSION EXPIRES _____

GENERAL NOTES:

- 1) THIS SUBDIVISION IS WHOLLY CONTAINED WITHIN THE CURRENT CORPORATE LIMITS OF THE CITY OF LEANDER, TEXAS
- 2) NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF LEANDER WATER DISTRIBUTION AND WASTEWATER COLLECTION FACILITIES.
- 3) A BUILDING PERMIT IS REQUIRED FROM THE CITY OF LEANDER PRIOR TO CONSTRUCTION OF ANY BUILDING OR SITE IMPROVEMENTS ON ANY LOT IN THIS SUBDIVISION.
- 4) NO BUILDINGS, FENCES, LANDSCAPE OR OTHER STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENTS SHOWN EXCEPT AS APPROVED BY THE CITY OF LEANDER PUBLIC WORKS DEPARTMENT.
- 5) PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY THE CITY OF LEANDER.
- 6) ALL EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER SUCCESSORS AND ASSIGNS.
- 7) IN ADDITION TO THE EASEMENT SHOWN HERON, A TEN (10') FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG AND ADJACENT TO ALL RIGHT-OF-WAY AND A TWO AND A HALF (2.5') FOOT WIDE PUBLIC UTILITY EASEMENT IS DEDICATED ALONG ALL SIDE LOT LINES.
- 8) A PORTION OF THIS PROPERTY IS WITHIN ZONE A, SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - NO BASE FLOOD ELEVATIONS DETERMINED - ACCORDING TO MAP NO. 48491C0455E, EFFECTIVE SEPTEMBER 26, 2008, ISSUED BY FEMA FOR WILLIAMSON COUNTY, TEXAS. THE FLOODPLAIN LINES DEPICTED HEREON WERE SCALED AND/OR DIGITIZED FROM THE REFERENCED FLOODPLAIN MAP AND ARE DRAWN FOR GRAPHIC PURPOSES ONLY AND ARE APPROXIMATE - THE LINES SHALL NOT BE USED FOR THE DETERMINATION OF THE LOCATION OF THE FLOODPLAIN; THE PRECISE DELINEATION OF THE FLOODPLAIN IS NOT WITHIN THE SCOPE OF THIS SURVEY AND MAY REQUIRE FURTHER ANALYSIS.
- 9) BUILDING SETBACKS NOT SHOWN HEREON SHALL COMPLY WITH THE MOST CURRENT ZONING ORDINANCE OF THE CITY OF LEANDER. ADDITIONAL RESIDENTIAL GARAGE SETBACKS MAY BE REQUIRED AS LISTED IN THE CURRENT ZONING ORDINANCE.
- 10) SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF MARSALA CIRCLE AND THE SUBDIVISION SIDE OF BAGDAD ROAD. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL, OR INDUSTRIAL LOT (INCLUDING SIDEWALKS ALONG STREET FRONTAGES OF LOTS PROPOSED FOR SCHOOLS, CHURCHES, PARK LOTS, DETENTION LOTS, DRAINAGE LOTS, LANDSCAPE LOTS, OR SIMILAR LOTS), SIDEWALKS ON ARTERIAL STREETS TO WHICH ACCESS IS PROHIBITED, SIDEWALKS ON DOUBLE FRONTAGE LOTS ON THE SIDE TO WHICH ACCESS IS PROHIBITED, AND ALL SIDEWALKS ON SAFE SCHOOL ROUTES SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. ALL SIDEWALKS ABUTTING A RESIDENTIAL LOT SHALL BE BUILT BY THE HOMEBUILDER.
- 11) ALL SITE UTILITY LINES MUST BE UNDERGROUND.
- 12) AT THE TIME OF SITE DEVELOPMENT PERMIT, THE APPLICANT WILL PROVIDE A PAYMENT TO THE CITY IN LIEU OF A TRAFFIC IMPACT ANALYSIS (TIA), UNLESS A TIA FOR THE ENTIRE DEVELOPMENT INDICATES THAT AVERAGE DAILY TRIPS ARE ESTIMATED BELOW 2,000.
- 13) ALL DRIVE LANES, FIRE LANES, AND DRIVEWAYS WITHIN THIS SUBDIVISION SHALL PROVIDE FOR RECIPROCAL ACCESS FOR INGRESS AND EGRESS TO ALL OTHER LOTS WITHIN THE SUBDIVISION AND TO ADJACENT PROPERTIES. THIS PROVISION ONLY APPLIES FROM AND TO THE JOINT USE ACCESS EASEMENT SHOWN ON LOT 1, BLOCK M TO LOT 2, BLOCK M AND FROM AND TO THE JOINT USE ACCESS EASEMENT SHOWN ON LOT 1 BLOCK O TO LOT 2, BLOCK O.
- 14) DRIVEWAY ACCESS FROM LOT 2, BLOCK M AND LOT 2, BLOCK O TO BAGDAD ROAD IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE CITY OF LEANDER.

APPROVED THIS THE ____ DAY OF _____, 20__ A.D., AT A PUBLIC MEETING OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF LEANDER, TEXAS AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

SID SOKOL, CHAIRMAN
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

ATTEST: ELLEN PIZALATE, SECRETARY
PLANNING AND ZONING COMMISSION
CITY OF LEANDER, TEXAS

ENGINEER'S CERTIFICATION:

I, JAMES M. COOK, P.E. DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH THE SUBDIVISION ORDINANCES AND THE STORMWATER DRAINAGE POLICY ADOPTED BY THE CITY OF LEANDER, TEXAS.

JAMES M. COOK, P.E.

ENGINEERING BY:
CSF CIVIL GROUP, LLC
3636 EXECUTIVE CENTER DRIVE, SUITE 209
AUSTIN, TEXAS 78731
(512) 614-4466
TPE FIRM REGISTRATION NO. 12377

LAND SURVEYOR'S STATEMENT

I, DAVID R. HARTMAN, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE LEANDER SUBDIVISION ORDINANCE, IS TRUE AND CORRECT TO THE BEST OF MY ABILITY, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND. ALL APPLICABLE EASEMENTS OF RECORD ARE SHOWN OR NOTED ON THE PLAT AS INDICATED IN COMMITMENT FOR TITLE G.F. NO. 01247-34727, DATED JANUARY 25, 2016.

DAVID R. HARTMAN, R.P.L.S. NO. 5264 _____ DATE _____

LANDESIGN SERVICES, INC.
1220 McNEIL ROAD
SUITE 200
ROUND ROCK, TEXAS 78681
FIRM REGISTRATION NO. 10001800
(512) 238-7901



METES AND BOUNDS DESCRIPTION

METES AND BOUNDS DESCRIPTION

BEING 17.851 ACRES OF LAND, SURVEYED BY LANDESIGN SERVICES, INC., OUT OF THE MOSES S. HORNSBY SURVEY, ABSTRACT NO. 292 IN WILLIAMSON COUNTY, TEXAS AND BEING PART OF A REMAINDER OF A CALLED 152.80 ACRE TRACT DESCRIBED IN DEED TO EMMET J. HAWKES AND WIFE, SALLY HAWKES RECORDED IN VOLUME 2255, PAGE 253 OF THE DEED RECORDS OF WILLIAMSON COUNTY, TEXAS (D.R.W.C.T.); AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND IN THE EXISTING WEST RIGHT-OF-WAY LINE OF BAGDAD ROAD (RIGHT-OF-WAY WIDTH VARIES) AT THE SOUTHEAST CORNER OF SAID 152.80 ACRES, THE NORTHEAST CORNER OF A CALLED 17 ACRE TRACT OF LAND DESCRIBED AS SECOND TRACT IN DEED TO MAX ROSENBUSCH AND ANNIE ROSENBUSCH RECORDED IN VOLUME 298, PAGE 521 OF THE D.R.W.C.T. AND THE SOUTH END OF A CALLED 17,187 SQUARE FEET TRACT OF LAND DESCRIBED IN DEED TO THE CITY OF LEANDER FOR RIGHT-OF-WAY OF BAGDAD ROAD RECORDED IN DOCUMENT NO. 2000054835 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS (O.P.R.W.C.T.);

THENCE WITH THE SOUTH LINE OF THE 152.80 ACRES AND THE NORTH LINE OF SAID 17 ACRES THE FOLLOWING TWO (2) COURSES;

1. SOUTH 68°22'58" WEST A DISTANCE OF 579.98 FEET TO A 1/2" IRON ROD FOUND;
2. SOUTH 68°24'23" WEST A DISTANCE OF 180.09 FEET TO A 1/2" IRON ROD FOUND IN THE EAST LINE OF LOT 3, BLOCK O, CARNEROS RANCH SECTION ONE, A SUBDIVISION RECORDED IN DOCUMENT NO. 2014034246 OF THE O.P.R.W.C.T. AND AT THE SOUTHWEST CORNER OF THE REMAINDER OF THE 152.80 ACRES;

THENCE NORTH 22°11'12" WEST A DISTANCE OF 256.05 FEET WITH THE WEST LINE OF THE REMAINDER OF THE 152.80 ACRES AND THE EAST LINE OF BLOCK O, CARNEROS RANCH SECTION ONE TO A SPINDLE SET IN THE CENTERLINE OF MARSALA CIRCLE, (64' RIGHT-OF-WAY WIDTH BY EASEMENTS TO THE CITY OF LEANDER RECORDED IN DOCUMENT NO. 2002016692 AND DOCUMENT NO. 2002016693 OF THE O.P.R.W.C.T.);

THENCE WITH THE CENTERLINE OF MARSALA CIRCLE, THE WEST LINE OF THE REMAINDER OF THE 152.80 ACRES AND THE EAST LINE OF CARNEROS RANCH SECTION ONE THE FOLLOWING THREE (3) COURSES:

1. 274.97 FEET ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 180.00 FEET, A DELTA ANGLE OF 87°31'28", AND CHORD BEARS NORTH 65°46'39" WEST A DISTANCE OF 249.00 FEET TO A SPINDLE SET;
2. NORTH 22° 00'52" WEST A DISTANCE OF 76.00 FEET TO A SPINDLE SET;
3. 275.74 FEET ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 180.00 FEET, A DELTA ANGLE OF 87°46'17", AND CHORD BEARS NORTH 21°52'16" EAST A DISTANCE OF 249.56 FEET TO A SPINDLE SET;

THENCE NORTH 22°00'51" WEST WITH THE WEST LINE OF THE REMAINDER OF THE 152.80 ACRES AND THE EAST LINE OF BLOCK M, CARNEROS RANCH SECTION ONE A DISTANCE OF 276.95 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF THE REMAINDER OF 152.80 ACRES, THE NORTHEAST CORNER OF LOT 3, BLOCK M, CARNEROS RANCH SECTION ONE AND IN THE SOUTH LINE OF A CALLED 17.00 ACRE TRACT OF LAND DESCRIBED IN DEED TO LOUIS AVERY RECORDED IN VOLUME 2536, PAGE 467 OF THE D.R.W.C.T. ;

THENCE NORTH 69°05'17" EAST A DISTANCE OF 735.51 FEET WITH THE NORTH LINE OF THE 152.80 ACRES AND THE SOUTH LINE OF SAID 17.00 ACRES TO A FENCE CORNER POST IN THE EXISTING WEST RIGHT-OF-WAY LINE OF BAGDAD ROAD AT THE NORTHEAST CORNER OF THE REMAINDER OF 152.80 ACRES AND THE NORTHWEST CORNER OF SAID 17,187 SQUARE FEET CITY OF LEANDER TRACT;

THENCE WITH THE EXISTING WEST RIGHT-OF-WAY LINE OF BAGDAD ROAD AND THE EAST LINE OF THE REMAINDER OF 152.80 ACRES THE FOLLOWING TWO (2) CALLS:

1. SOUTH 22°40'43" EAST A DISTANCE OF 614.39 FEET TO A DRILL HOLE SET;
2. 346.08 FEET ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 4407.47 FEET, A DELTA ANGLE OF 04°26'56" AND CHORD BEARS SOUTH 24°55'32" EAST A DISTANCE OF 345.99 FEET TO THE POINT OF BEGINNING.

THIS PARCEL CONTAINS 17.851 ACRES OF LAND, MORE OR LESS, OUT OF THE MOSES S. HORNSBY SURVEY, ABSTRACT NO. 292 IN WILLIAMSON COUNTY, TEXAS. ALL BEARINGS ARE BASED GRID NORTH OF THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83 DATUM.

THE STATE OF TEXAS {}
THE COUNTY OF WILLIAMSON {}

I, NANCY E., RISTER, CLERK OF COUNTY COURT, WITH AND FOR THE COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THIS THE ____ DAY OF _____, 20__ A.D., AT ____ O'CLOCK ____ M., AND DULY RECORDED THIS THE ____ DAY OF _____, 20__ A.D., AT ____ O'CLOCK ____ M., IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY IN INSTRUMENT NO. _____, TO CERTIFY WHICH, WITNESS MY HAND AND SEAL AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST SHOWN ABOVE WRITTEN.

BY: _____

NANCY E. RISTER
CLERK, COUNTY COURT OF
WILLIAMSON COUNTY, TEXAS

LANDESIGN SERVICES, INC.
512-238-7901
1220 McNEIL ROAD
SUITE 200
ROUND ROCK, TEXAS 78681
FIRM REGISTRATION NO. 10001800



FINAL PLAT
CARNEROS RANCH SECTION SEVEN

| | | | |
|--|--|------------------|----------------|
| PROJECT NAME: CARNEROS | JOB NUMBER: 381-15-1 | DATE: 02/18/2016 | SCALE: 1"=100' |
| DRAWING FILE PATH: L:\CFS CIVIL\CARNEROS_K L ENTERPRISES\DWG | FIELDNOTE FILE PATH: L:\CFS CIVIL\CARNEROS_K L ENTERPRISES\W&B | RPLS: DRH | TECH: HAS |
| CHECKED BY: JB | PARTYCHIEF: AG | FIELDBOOKS: | |

DRAWING NAME
38101002.DWG

SHEET
2 of 2



EXECUTIVE SUMMARY

JUNE 09, 2016

- Agenda Subject:** Zoning Case 16-Z-013: Hold a public hearing and consider action on the rezoning of 65.25 acres more or less out of the Walter Campbell Survey; generally located to the southwest of the intersection of Crystal Falls Pkwy and 183A Toll; WCAD ID R031201, R080605, R432787, R031200, R328187, and R432786. Currently, the property is zoned GC-2-A (General Commercial), LC-2-A (Local Commercial), LO-2-A (Local Office), and SFT-2-A (Single-Family Townhome). The applicant is proposing to zone the property to PUD (Planned Unit Development) with a base zoning district of GC-2-A (General Commercial), MF-2-A (Multi-Family), or any other more restrictive district; Leander, Williamson County, Texas.
- Background:** This request is the first step in the rezoning process.
- Origination:** Applicant: City of Leander on behalf of Premas Global Leander, LLC.
- Financial Consideration:** None
- Recommendation:** See Planning Analysis.
- Motion:** APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)
- DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.
- Attachments:**
1. Planning Analysis
 2. Current Zoning Map
 3. Future Land Use Map
 4. Notification Map
 5. Proposed Zoning Map
 6. Aerial Map
 7. PUD Notes
- Prepared By:** Robin M. Griffin, AICP
Senior Planner

06/01/2016



PLANNING ANALYSIS

ZONING CASE 16-Z-013 GLOBAL VILLAGE REZONING

GENERAL INFORMATION

Owner: Premas Global Leander, LLC

Current Zoning: GC-2-A (General Commercial)
LC-2-A (Local Commercial)
LO-2-A (Local Office)
SFT-2-A (Single-Family Townhome)

Proposed Zoning: PUD (Planned Unit Development) with the following base zoning districts:
GC-2-A (General Commercial)
MF-2-A (Multi-Family)

Size and Location: The property is generally located to the southwest of the intersection of Crystal Falls Pkwy and 183A Toll and includes approximately 65.25 acres.

Staff Contact: Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

| | ZONING | LAND USE |
|-------|---------------------------------------|--|
| NORTH | GC-3-B | Undeveloped Land Zoned for Commercial Use |
| EAST | GC-2-A LC-1-B Interim SFR-1-B | Undeveloped Land Zoned for Commercial, Local Commercial and Interim Single Family Uses |
| SOUTH | OCL | Undeveloped Land located outside of the City Limits & ETJ |
| WEST | GC-3-A LC-3-A LO-2-A SFU-2-B | Undeveloped Land Zoned for Commercial, Local Commercial and Local Office Uses Established Single-Family Subdivision (Ridgewood South) |

| |
|---|
| COMPOSITE ZONING ORDINANCE INTENT STATEMENTS |
|---|

GC – GENERAL COMMERCIAL:

Features: Any use in LC plus bar, nightclub, entertainment venues, hospital, hotel, liquor store, office/warehouse, vehicle and equipment sales, leasing and repair, furniture sales, pet shop, wholesale activities less than 3,500 sq. ft.

Intent: Development of small to large scale commercial, retail, and commercial service uses located in high traffic areas. Access to this component should be provided by an arterial street. The heaviest concentration of this component should be located at intersections of arterial streets.

MF – MULTI-FAMILY:

Features: Apartments (25 un./ac. if Type A; 18 un./ac. if Type B)

Intent: Development of multi-family dwelling structures. Such components are generally intended to serve as a buffer between single-family neighborhoods and more intensive uses such as commercial uses or arterial roadways. Such components are also intended to create more variety in housing opportunities and in the fabric of the community but are intended to be utilized in small areas to avoid large tracts devoted to strictly multi-family residential development. The goal is to avoid more than twenty-five (25) acres of contiguous land having a Multi-Family component. Access should be provided by a collector or higher classification street.

TYPE 2:

Features: Accessory buildings greater of 10% of primary building or 120 sq. ft.; accessory dwellings for SFR, SFE and SFS; drive-thru service lanes; uses not to exceed 40,000 sq. ft.; multi-family provides at least 35% of units with an enclosed garage parking space.

Intent:

- (1) The Type 2 site component may be utilized with non-residential developments that are adjacent to a residential district or other more restrictive district to help reduce potential negative impacts to the more restrictive district and to provide for an orderly transition of development intensity.
- (2) The Type 2 site component is intended to be utilized for residential development not meeting the intent of a Type 1 site component and not requiring the additional accessory structure or accessory dwelling privileges of the Type 3 site component.
- (3) This component is intended to be utilized with the majority of LO and LC use components except those that meet the intent of the Type 1 or Type 3 site component or with any use requiring drive-through service lanes.
- (4) This component is generally not intended to be utilized with LI and HI use components except where such component is adjacent to, and not adequately buffered from, residential districts or other more restricted districts, and except as requested by the land owner.

TYPE A:

Features: 85% masonry; 5 or more architectural features.

Intent:

- (1) The Type A architectural component is intended to be utilized for high quality developments or to provide variety as an additional option for portions of a residential development and may be utilized in or adjacent to single-family uses.

- (2) This component is intended to be utilized for single-family development that backs up to, or sides to, a major thoroughfare.
- (3) Combined with appropriate use and site components, this component is intended to help provide for harmonious land use transitions by applying this component to a less restrictive use or site component adjacent to a more restrictive use or site component. This standard may be utilized to help ensure compatibility for non-residential uses, multi-family, two-family, townhouse or small lot residential development with adjacent property that is more restricted.
- (4) This component is intended to be utilized for buildings requiring heights greater than those provided in other architectural components.
- (5) This component may be utilized for any high profile development, for any property in a prominent location or at an important gateway to the community.
- (6) This component is not intended to become an involuntary standard for the majority of a single-family subdivision, especially with SFR, SFE, SFS, SFU and SFC components.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Plan for continued growth and development that improves the community's overall quality of life and economic viability.
- Plan for future development that is compatible with existing residential neighborhoods.
- The Community Center provides the same uses and services offered by a Neighborhood Center including small professional offices, small-lot single-family, townhouses, duplexes and quadplexes, churches, gyms, child care centers, and other civic uses, etc. Additionally, Community Centers include uses that are demanded less frequently than daily, and are typically anchored by grocery stores. Community Centers should have an internal network of streets and promote walkability within the Center.
- Mixed Use Corridors are areas along arterials between Centers that have available land and should be developed to preserve the integrity of the corridor and maintain mobility. These corridors include land within approximately 500 feet of the outer edge of the right-of-way (typically one block deep).

ANALYSIS:

The City has initiated a zoning case for this property in order to allow for the development of commercial and multi-family uses at this location. This property was rezoned on November 19, 2015 to the current zoning districts. The City previously approved a development agreement for this property which incorporated some of the proposed development criteria in the PUD.

The properties to the west currently include the Ridgewood South Subdivision and undeveloped commercial. The property to the south is not located within the City Limits or ETJ. The property to the east is zoned GC-2-A and LC-1-B and is currently undeveloped. The Crystal Springs Subdivision is also proposed to the east of the subject property. The property to the north is zoned GC-3-C and is undeveloped.

The City is proposing a PUD with the base zoning districts of GC-2-A (General Commercial) and MF-2-A (Multi-Family). The General Commercial use component permits the development of small to large scale commercial, retail, and commercial service uses located in high traffic areas. The Composite Zoning Ordinance states that access to this component should be provided by an arterial street and that the heaviest concentration of this component should be located at intersections of arterial streets.

The Multi-Family use component permits the development of multiple homes on a single lot. This component is generally intended to serve as a buffer between single-family neighborhoods and more intensive uses such as commercial uses or arterial roadways. In addition, this component is also intended to create more variety in housing opportunities and in the fabric of the community but are intended to be utilized in small areas to avoid large tracts devoted to strictly multi-family residential development.

The Type 2 site component is intended to be used with non-residential developments that are adjacent to a residential district or other more restrictive district to help reduce potential negative impacts to the more restrictive district and to provide for an orderly transition of development intensity. This site component does allow for drive through service lanes and accessory buildings. This site component does not allow outdoor storage, display, overhead service doors, carwashes or fueling stations. This site component also includes requirements for multi-family projects. These projects would be required to construct garages for a minimum of thirty-five (35%) percent of the units.

The Type A Architectural Component requires that all structures are eight five (85%) percent masonry and have a minimum of five different design features.

This proposed PUD restricts the following uses:

- Animal Hospital
- Sexually oriented businesses
- Wrecker impoundment, towing
- Self-service storage
- Recreational vehicle park
- Outdoor storage
- Commercial laundry
- Construction and building material storage
- Crematory
- Funeral Homes
- Manufactured housing sales and accessory building sales
- Vehicle and major equipment sales, rental or leasing, repair, and body shop

In addition, no more than 15 acres of the property may be developed as office warehouse and the MF-2-A uses are limited to no more than fifteen (15) acres south of the extension of Raider Way. The following site uses are permitted:

- Outdoor fuel sales
- No building size prohibition
- Overhead commercial doors

The riparian corridor setbacks are proposed to be modified so that they only apply to the Blockhouse Creek. In addition, the tree protection and mitigation requirements are modified to incorporate some of the current ordinance standards with the standards listed in the previously approved development agreement for this property.

This application includes the following higher standards and waivers.

| HIGHER STANDARDS | WAIVERS |
|-----------------------------------|--|
| COMPOSITE ZONING ORDINANCE | |
| Type A Architectural Component | - |
| Master Sign Plan | - |
| Use Restrictions | - |
| - | Permitting fuel sales, overhead doors, and unlimited building size |
| - | Perimeter block length requirements waived |
| - | Modification of tree mitigation & preservation requirements |
| - | Installation of sidewalks at a later phase |

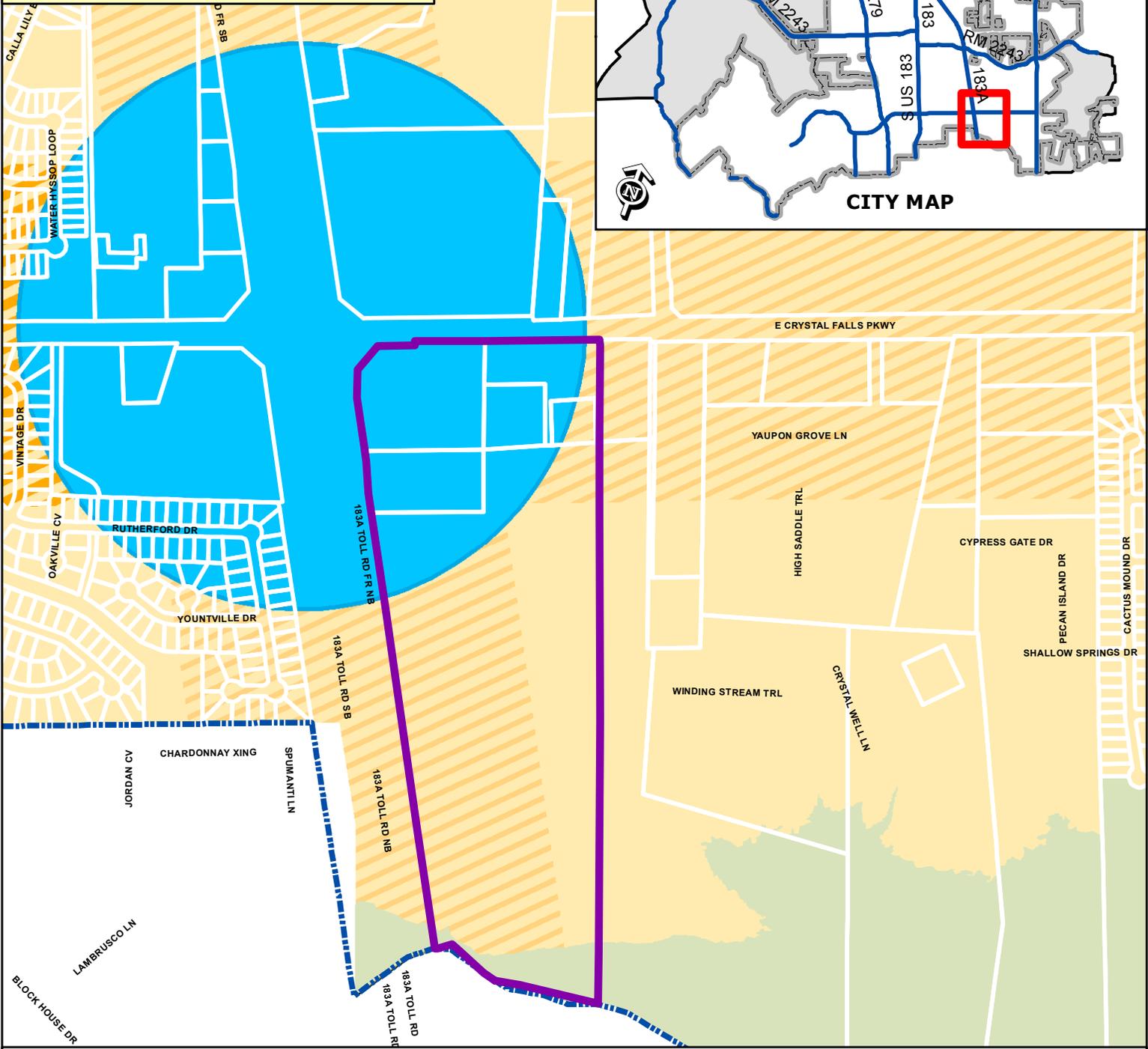
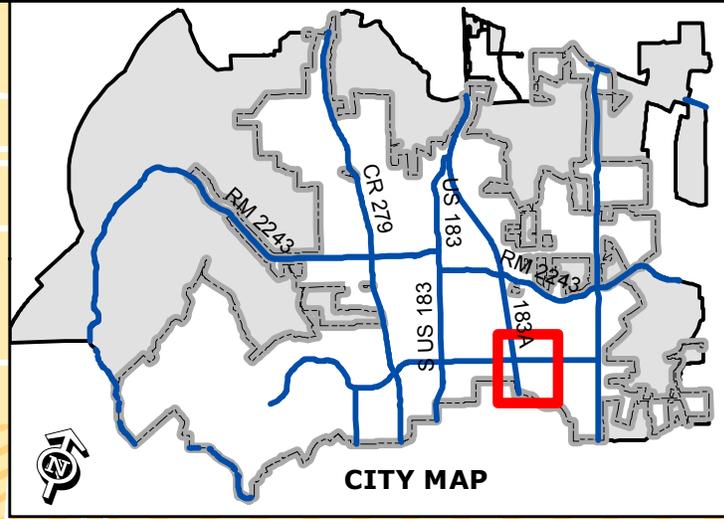
This property is located within a Community Center. The Community Center provides the same uses and services offered by a Neighborhood Center including small professional offices, small-lot single-family, townhouses, duplexes and quadplexes, churches, gyms, child care centers, and other civic uses, etcetera. Additionally, Community Centers include uses that are demanded less frequently than daily, and are typically anchored by grocery stores. Community Centers should have an internal network of streets and promote walkability within the Center. The target land use mix for a Community Center is 50% residential and 50% non-residential. Currently, this Community Center is zoned 32% residential and 68% non-residential.

This property is also located within a Mixed Use Corridor. Mixed Use Corridors are areas along arterials between Centers that have available land and should be developed to preserve the integrity of the corridor and maintain mobility. These corridors include land within approximately 500 feet of the outer edge of the right-of-way (typically one block deep). This corridor extends along 183A Toll Road to the south along the property.

STAFF RECOMMENDATION:

Staff recommends approval of the Global Village PUD. This PUD will provide for commercial uses at the intersection of two major thoroughfares as well as multi-family to the south of the future extension of Raider Way. The PUD provides for higher standards including the Type A architectural component and use restrictions that balance the proposed waivers. This request complies with the Comprehensive Plan and the intent statements of the Composite Zoning Ordinance.

This map has been produced by the City of Leander for informational purposes only. No warranty is made by the City regarding completeness or accuracy, please refer to the official ordinance for zoning verification. This data should not be construed as a legal description or survey instrument. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, completeness, use or misuse of the information herein provided.



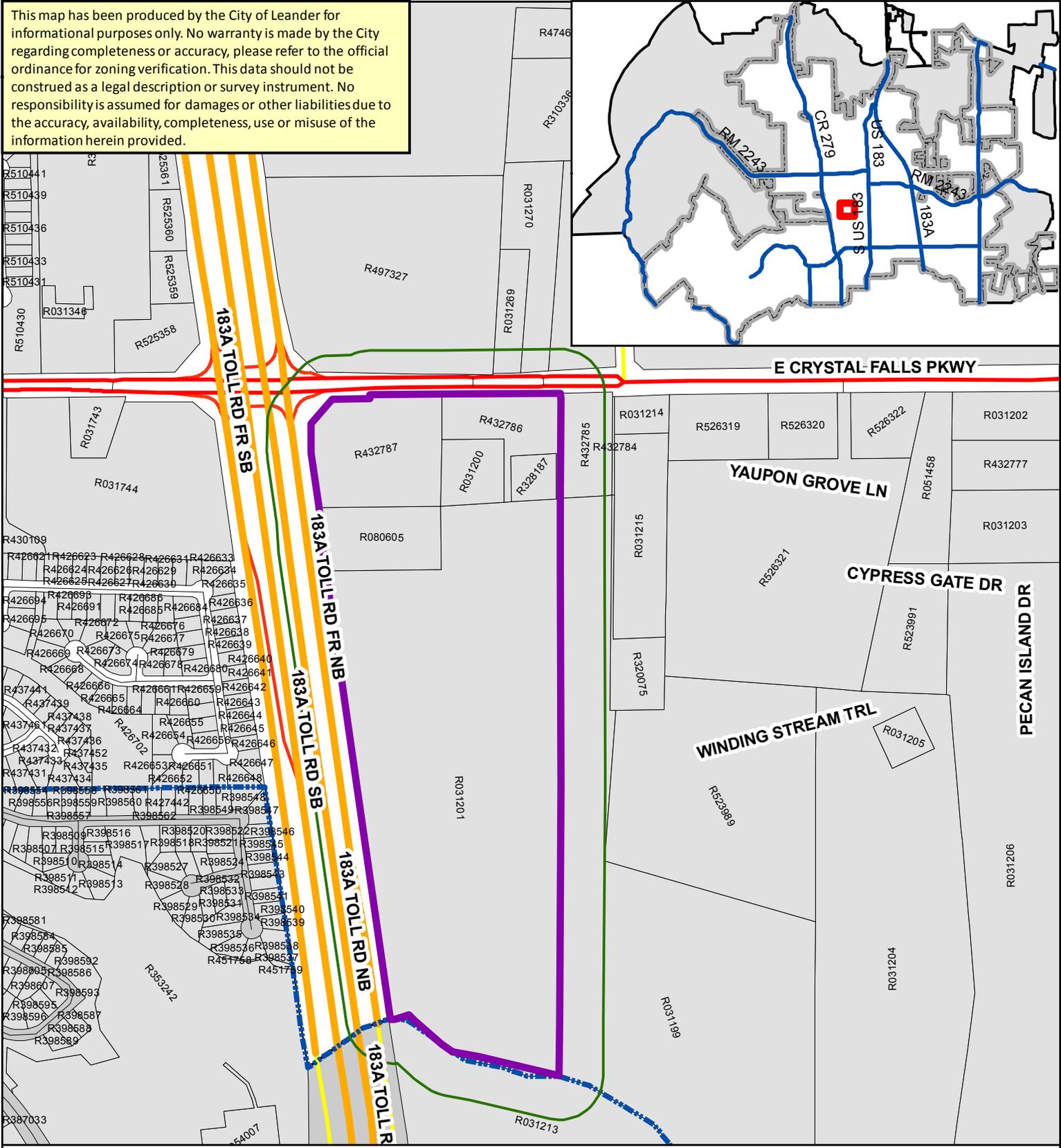
ZONING CASE 16-Z-013 Attachment #3 Future Land Use Map - Global Village PUD

| | | |
|---|--|--|
|  Subject Property |  Commercial Corridor |  Transit Supportive Mixed Use |
|  City Limits |  Neighborhood Center |  Station Area Mixed Use |
|  Open Space |  Community Center |  Old Town Mixed Use |
|  Mixed Use Corridor |  Activity Center |  Employment Mixed Use |
| |  Industrial District | |
| |  Neighborhood Residential | |



0 200
Feet

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ZONING CASE 16-Z-013

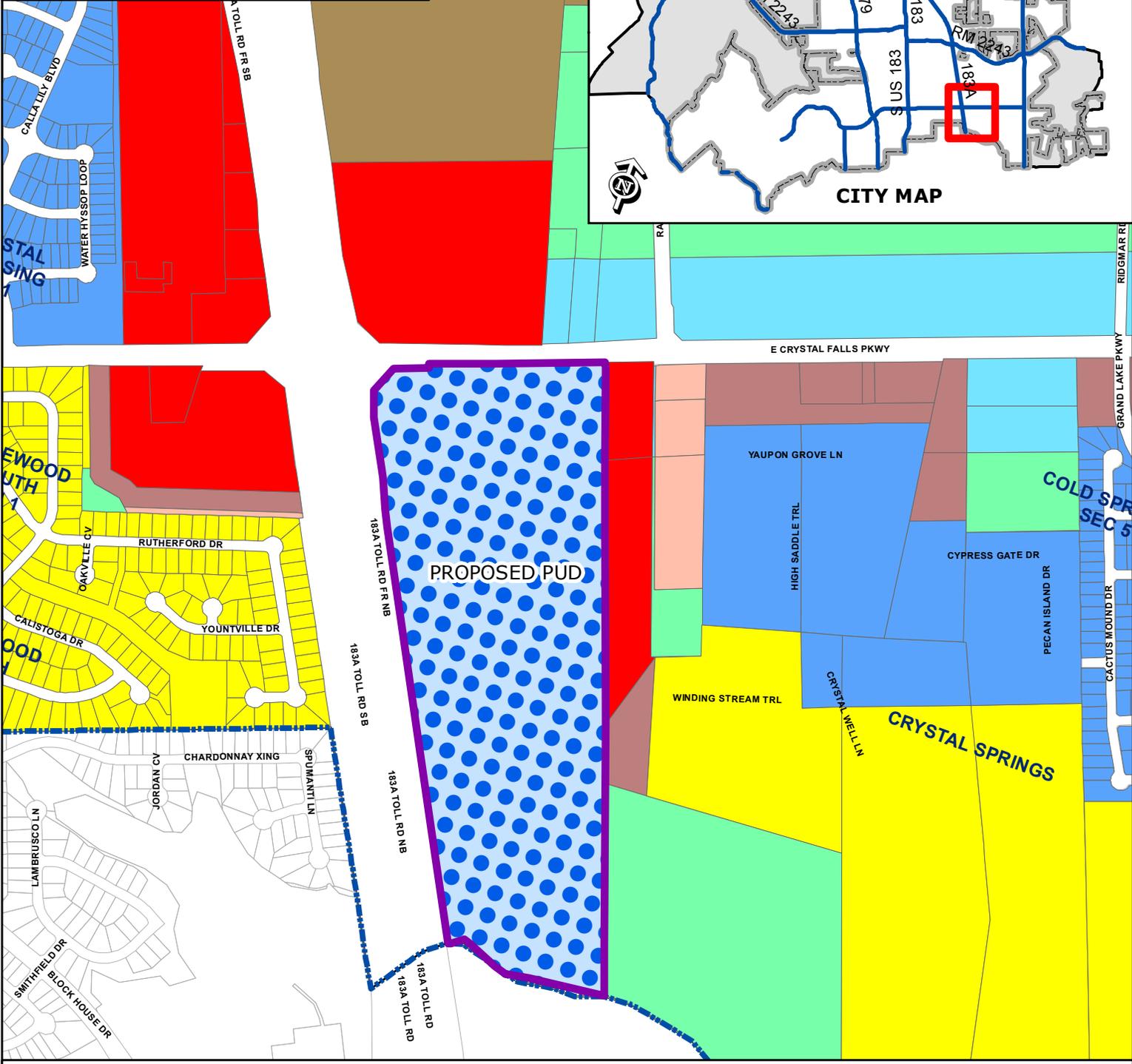
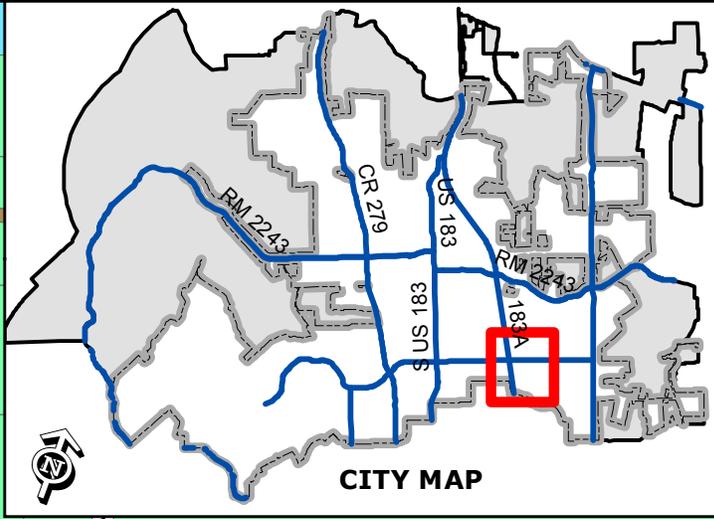
Attachment #4

Notification Map
Global Village PUD

- Public Notification Boundary
- Subject Property
- City Limits
- WCAD Parcels
- TCAD Parcels



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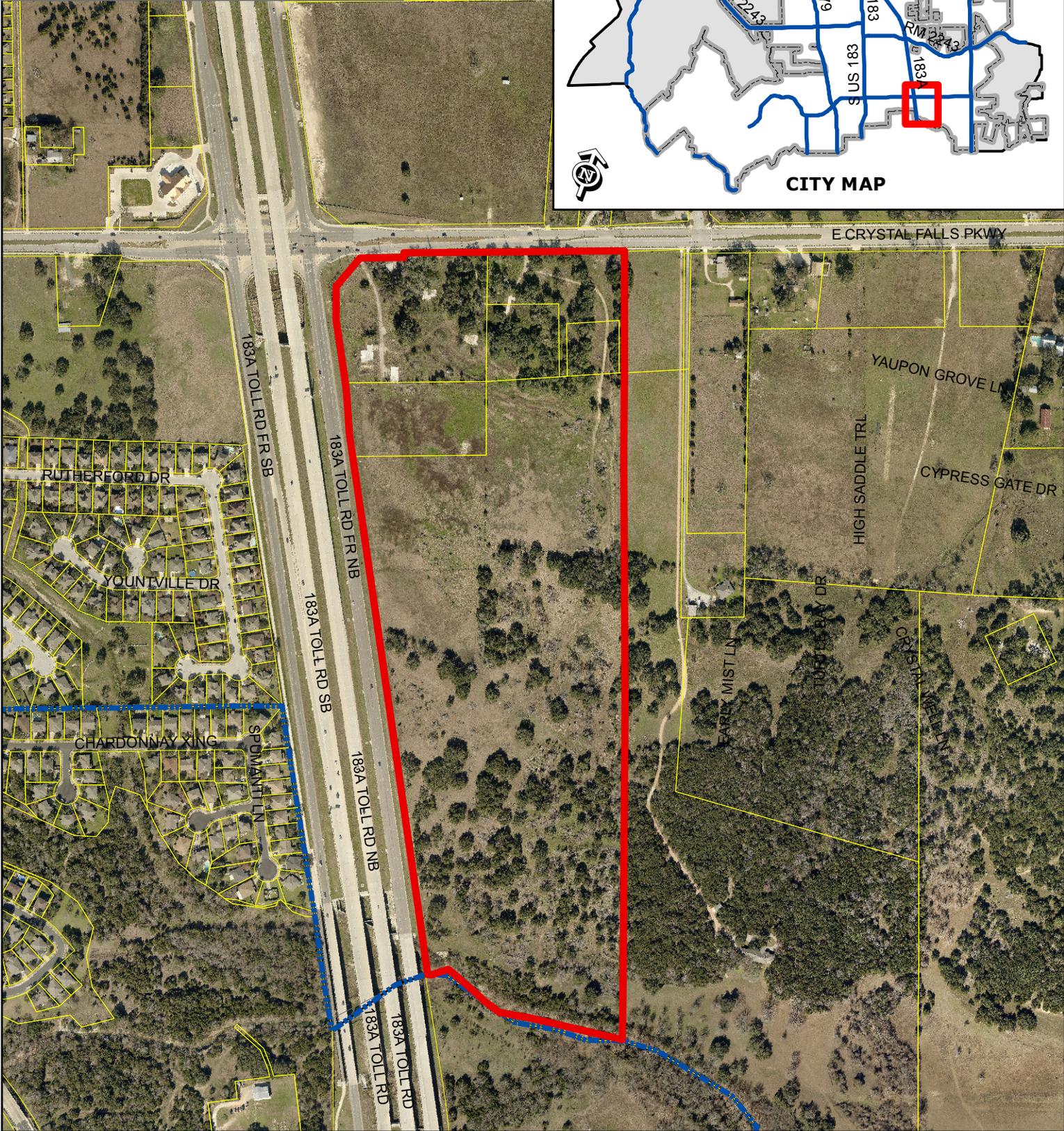
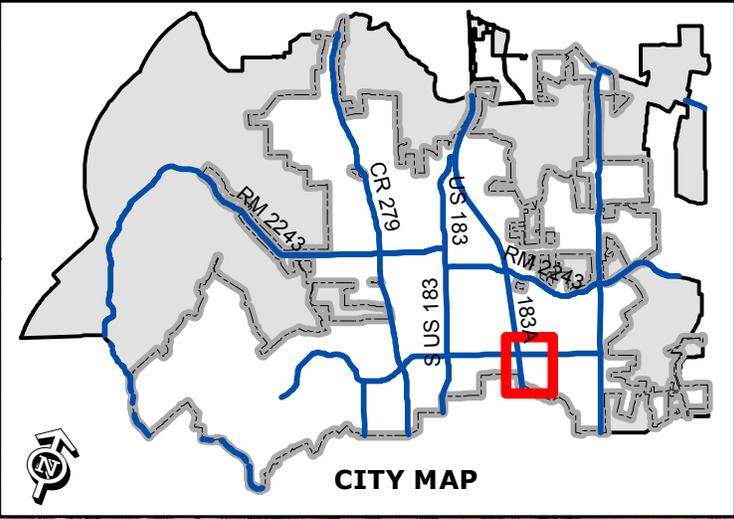
ZONING CASE 16-Z-013 Attachment #5

Proposed Zoning Map - Global Village PUD

| | | | | |
|------------------|-----|--------|----|---------------------|
| Subject Property | SFR | SFL | LO | PUD - Commercial |
| City Limits | SFE | SFT | LC | PUD - Mixed Use |
| | SFS | SFU/MH | GC | PUD - Multi-Family |
| | SFU | TF | HC | PUD - Townhomes |
| | SFC | MF | HI | PUD - Single-Family |



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ZONING CASE 16-Z-013 Attachment #6

Aerial Exhibit - Approximate Boundaries
Global Village PUD



-  Subject Property
-  City Limits

EXHIBIT A

GLOBAL VILLAGE – PUD

A. Purpose and Intent

1. The Global Village PUD is composed of approximately 65.25 acres, as shown in Exhibit B (the “Property”). The development of this Property is comprised of commercial and multi-family uses.

B. Applicability and Base Zoning

1. All aspects regarding the development of this PUD shall comply the City of Leander Composite Zoning Ordinance in effect on September 02, 2010 (the “2010 Composite Zoning Ordinance”), except as established in this exhibit, titled Exhibit A.
2. For the purpose of establishing development standards for the PUD, base zoning of MF-2-A (Multi-Family) and GC-2-A (General Commercial) apply to the Property.

C. Conceptual Site Layout & Land Use Plan

1. A Conceptual Site Layout and Land Use Plan described in Article III, Section 16(e) of the 2010 Composite Zoning Ordinance is not required for approval of this PUD or the development of the Property; provided that before the Property may be developed with any multifamily uses authorized in the MF-2-A zoning district, the property owner must apply for and obtain approval of a Conceptual Site Layout and Land Use Plan as an amendment to this PUD that includes architectural renderings of proposed buildings for the portion of the Property to be developed under the MF-2-A base zoning.

D. Use Components

1. The use shall comply with Article III, Section 13 (General Commercial) of the 2010 Composite Zoning Ordinance except as amended below.
 - a. The following uses shall be prohibited;
 - i. Animal Hospital
 - ii. Sexually oriented businesses
 - iii. Wrecker impoundment, towing
 - iv. Self-service storage
 - v. Recreational vehicle park
 - vi. Outdoor storage
 - vii. Commercial laundry
 - viii. Construction and building material storage
 - ix. Crematory
 - x. Funeral Homes
 - xi. Manufactured housing sales and accessory building sales
 - xii. Vehicle and major equipment sales, rental or leasing, repair, and body shop
 - b. Not more than 15 acres of the Property may be developed, or used, for office warehouse.
 - c. MF-2-A uses shall be limited to no more than 15 acres which must be located south of the extension of Raider Way.

E. Site Components

1. The site shall comply with Article V, Section 2 of the 2010 Composite Zoning Ordinance except as amended below.
 - a. The following site uses are permitted:
 - i. Outdoor fuel sales that comply with the following requirements:

- (a) Washing of vehicles (including vacuum facilities) is not located within one hundred fifty (150') feet of a single family or two family residential district unless such district is utilized for non-residential purposes. The location is measured from the closest portion of the structure associated with the washing of vehicles to the residential district; and
 - (b) Commercial fueling is not located within one hundred (100') feet of a single family or two family residential district unless such district is utilized for non-residential purpose. The location is measured from the closest portion of the structure associated with the outdoor commercial fueling to the residential district; and
 - (c) No more than two outdoor commercial fueling and washing of vehicles facilities shall be located within six hundred (600') feet of any intersection separately or in combination with a convenience store or other use.
 - (d) Vehicle washing and fueling facility locations are reserved only by obtaining an approved building permit for such facility and keeping such permit active (see Article IX of the Composite Zoning Ordinance in effect on April 20, 2016).
 - (e) Gasoline pumps shall be located no closer to the street than the primary structure.
- ii. Individual users may exceed 40,000 gross square feet of floor area.
 - iii. Overhead commercial services doors are permitted, provided that warehouse, mini-warehouse and overhead (commercial service) doors shall not be oriented so as to face a street(s) or residential property or shall be screened from view from the street(s) or residential property unless the Director of Planning determines that there is no other feasible alternative.

F. Site Standards

- 1. Site standards shall comply with Article VI of the 2010 Composite Zoning Ordinance except as amended below.
 - a. Tree protection and preservation:
 - i. Development of the portion of the Property identified as Area A on Exhibit C shall comply with the tree preservation and projection requirements set forth in the 2010 Composite Zoning Ordinance, except as amended in this Section F.1.a.i:
 - (a) Significant Trees 18 caliper inches and less may be removed at the sole discretion of the property owner; provided that mitigation requirements as provided in the 2010 Composite Zoning Ordinance are met.
 - (b) Significant Trees between 18 caliper inches and 30 caliper inches may be removed after obtaining the written approval of the Public Works Director; provided that the mitigation requirements as provided in the 2010 Composite Zoning Ordinance are met.
 - (c) The removal of trees that have a single trunk larger than 30 caliper inches measured at a height of four feet must be approved by the City Council. The mitigation ratio for such trees authorized to be removed shall be 2 to 1 caliper inches.
 - ii. The portion of the Property identified as Area B on Exhibit C shall comply with the tree preservation and protection requirements set forth in Article VI, Section 1(c) of the Composite Zoning Ordinance in effect on April 20, 2016, except as amended in this subsection F.1.a.ii:

- (a) No mitigation fee will be required for removal of Heritage Trees.
 - (b) The regulations governing critical root zones set forth in Article VI, Section 1(c)(5) of the 2010 Composite Zoning Ordinance shall apply.
- b. Drainage and detention facilities shall comply with Article VI, Section 7 of the Composite Zoning Ordinance in effect on April 20, 2016 (the “Drainage and Detention Regulations”), except as provided in this Section F.1.b.
 - i. The Drainage and Detention Design Standards shall not apply to the grassy swale that is proposed to be located on the Property as shown in Exhibit D; provided that a landscape screen will be installed along portions of the grassy swale that abut and are visible from the proposed private driveway. Such screening shall consist of hedges that are a minimum 30” at the time of planting, planted no farther than 48” apart when measured at the center of the hedge. The grassy swale will serve as temporary drainage for Area A, and such temporary drainage will be modified as necessary to comply with the drainage and detention regulations in effect as of April 20, 2016, at the time of site development of the lots or property abutting the grassy swale.
- c. Article VI, Section 14 (d) of the Composite Zoning Ordinance in effect on April 20, 2016 shall be amended as follows:
 - (a) A six-foot masonry privacy wall is required to be constructed by any non-residential use that abuts property having single-family or two-family zoning.
 - (i) Such wall shall be constructed at the common property line between the uses, or if such location is not feasible because of floodplain, trees or other natural feature, at a location that will effectively screen the non-residential use from view from the single-family or two-family residence.
 - (ii) Such wall is required to be constructed of one or more of the following materials: textured pre-cast concrete (e.g. WoodCrete), brick, stone, cast stone, stucco, factory tinted or painted split-faced concrete masonry unit, granite, tile or other similar material approved by the Director of Planning.
 - (iii) An eight-foot wall may be utilized for security purposes.
 - (iv) Gates shall be provided in the wall as appropriate to connect to public sidewalks or other pedestrian connections unless such wall is also used as described above for security.
 - (v) The masonry privacy wall is not required for non-residential uses that are permitted by right in any Single-Family Districts.
- d. Shared parking is allowed subject to (i) parking that has been constructed exceeds the parking requirements for the development on the lot; and (ii) the Planning Director’s approval of a shared parking analysis that sufficient parking has been installed to serve completed portions of the development on the Property as construction and occupancy progress.

G. Site Development

- 1. Riparian Corridor Setbacks. The riparian corridor regulations and setback set forth in Article III, Section 49 of the Subdivision Ordinance in effect on April 20, 2016 and Article IX,

Section 3(a) of the Composite Zoning Ordinance in effect on April 20, 2016 shall apply to Blockhouse Creek and the land that falls within the riparian corridor setback from Blockhouse Creek. Excavation of Blockhouse Creek reservoir for storm water detention will be deemed in compliance with the riparian corridor regulations. No other riparian corridor will be deemed to exist on the Property. The land located within the riparian corridor setback for Blockhouse Creek shall further comply with the landscaping and screening requirements set forth in the Composite Zoning Ordinance in effect on April 20, 2016.

2. A master sign plan will be submitted for approval prior to the approval of the first building-related side development permit.
3. Sidewalks will be installed in conjunction with site development and completion of the sidewalks will be a condition of issuance of a certificate of completion.
4. The internal private driveway shown on ___ shall be counted as public right-of-way when determining compliance with maximum block perimeter lengths. The proposed block perimeter length shown on _____ complies with maximum block perimeter length requirements for commercial uses.
5. Landscaping may be planned for adjoining lots, phases and sections and landscaping previously installed in an adjoining lot, phase or section that exceeds the landscaping for that lot, phase or section may be credited to the requirements for an abutting lot;
6. [Place holder for addressing trail to be constructed and dedicated to the City.]

EXHIBIT B

11.272 acres
Walter Campbell Survey, A-3
Williamson County, Texas

Loomis Job No. 090105
FN1086R1(jdb)
Page 1 of 2

FIELD NOTES DESCRIPTION

DESCRIPTION OF 11.272 ACRES OF LAND, A PORTION OF THE WALTER CAMPBELL SURVEY, ABSTRACT NO. 3, IN THE CITY OF LEANDER, WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF A CALLED 20.00 ACRE TRACT OF LAND DESIGNATED AS TRACT 2 AND DESCRIBED IN A DEED TO PREMAS GLOBAL LEANDER I, LLC OF RECORD IN DOCUMENT NO. 2009000970, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AS SURVEYED BY LOOMIS PARTNERS, INC. AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a Texas Department of Transportation (TXDOT) Type II concrete monument found in the south right-of-way line of Crystal Falls Parkway at the northwest corner of the said Premas Tract 2 and the northeast corner of that called 0.239 acre tract of land designated as Exhibit B, Part 1 and described in a deed to Williamson County of Record in Document No. 2004097776, Official Public Records of Williamson County, Texas for the northern northeast corner and **POINT OF BEGINNING** of the tract described herein;

THENCE N 69° 34' 50" E, with the south right-of-way line of Crystal Falls Parkway and the north line of the said Premas Tract 2, a distance of 326.31 feet to a ½-inch iron rod with cap marked "Cotton Surveying" found at the southwest corner of that called 0.1158 acre tract of land described in a deed to the City of Leander, Texas of record in Document No. 2002032250, Official Public Records of Williamson County, Texas, for an angle point in the south right-of-way line of Crystal Falls Parkway, an angle point in the north line of the said Premas Tract 2 and an angle point in the north line of the tract described herein;

THENCE N 69° 37' 03" E, continuing with the south right-of-way line of Crystal Falls Parkway and the north line of the said Premas Tract 2, same being the south line of the said 0.1158 acre City of Leander tract, a distance of 536.90 feet to a calculated point in the west line of that called 66.49 acre tract of land described in a deed to Richard Davis and Linda Davis of record in Document No. 9716886, Official Records of Williamson County, Texas, for the southeast corner of the said 0.1158 acre City of Leander tract and for the southwest corner of that called 0.0612 acre tract of land described in a deed to the City of Leander, Texas of record in Document No. 2003024007, Official Public Records of Williamson County, Texas, same being the northeast corner of the said Premas Tract 2 and the northeast corner of the tract described herein;

THENCE S 19° 50' 44" E, with the east line of the said Premas Tract 2 and the west line of the said Davis 66.49 acre tract, a distance of 446.02 feet to a calculated point for the southeast corner of the tract described herein, said calculated point being on the approximate Leander City Limit Line, being 501 feet from the centerline of Crystal Falls Parkway, and from said calculated point a ½-inch iron rod with cap stamped "Forest 1847" found at the southeast corner of the said Premas Tract 2 bears S 19° 50' 44" E a distance of 350.94 feet;

THENCE S 69° 37' 03" W, crossing the said Premas Tract 2 with the said approximate Leander City Limit Line, being 501 feet from the centerline of Crystal Falls Parkway, a distance of 1103.25 feet to a calculated point in the east right-of-way line of U. S. Highway No. 183-Alternate (U.S. 183-A), same being the east line of that called 0.106 acre tract of land designated as Exhibit B, Part 2 and described in a deed to Williamson County, Texas of record in Document No. 2004097776, Official Public Records of Williamson County, Texas and the west line of the said Premas Tract 2, and from said calculated point a TXDOT Type II concrete monument found at an angle point in the east right-of-way line of said U.S. 183-A and the west line of the said Premas Tract 2 bears S 28° 11' 47" E a distance of 112.51 feet;

THENCE with the east right-of-way line of said U.S. 183-A, being the east line of the said 0.106 acre tract, the east line of that called 11.066 acre tract of land designated as Exhibit A and described in a deed to Williamson County, Texas of record in Document No. 2004097777, Official Public Records of Williamson County, Texas and the east line of the said 0.239 acre tract, same being the west line of the said Premas Tract 2, the following five (5) courses and distances:

11.272 acres
Walter Campbell Survey, A-3
Williamson County, Texas

Loomis Job No. 090105
FN1086R1(jdb)
Page 2 of 2

1. N 28° 11' 47" W, a distance of 187.03 feet to a calculated angle point for the north corner of the said 0.106 acre tract, from which a TXDOT Type II concrete monument found for reference bears N 28° 11' 47" W, a distance of 112.24 feet,
2. N 19° 42' 01" W, a distance of 130.70 feet to a calculated angle point for the south corner of the said 0.239 acre tract from which a TXDOT Type II concrete monument found for reference bears S 20° 27' 32" W, a distance of 25.76 feet,
3. N 20° 27' 32" E, a distance of 144.48 feet to a TXDOT Type II concrete monument found at an angle point,
4. N 69° 09' 19" E, a distance of 173.30 feet to a TXDOT Type II concrete monument found at an interior corner, and
5. N 19° 32' 48" W, a distance of 19.11 feet to the **POINT OF BEGINNING** and containing 11.272 acres of land, more or less.

LOOMIS WORD FILE: FN1086R1(jdb)

BEARING BASIS: Bearing basis is Texas Coordinate System, Central Zone, NAD83, Grid

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS
COUNTY OF TRAVIS §

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying sketch is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground on July, 2010, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas on this 17th of August, 2010 A.D.

Loomis Partners, Inc.
Austin, Texas 78746




John D. Barnard
Registered Professional Land Surveyor No. 5749
State of Texas

FIELD NOTES DESCRIPTION

DESCRIPTION OF 53.985 ACRES OF LAND, A PORTION OF THE WALTER CAMPBELL SURVEY, ABSTRACT NO. 3, IN WILLIAMSON COUNTY, TEXAS, BEING ALL OF A CALLED 45.25 ACRE TRACT OF LAND DESIGNATED AS TRACT 1 AND DESCRIBED IN A DEED TO PREMAS GLOBAL LEANDER I, LLC OF RECORD IN DOCUMENT NO. 2009000970, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AND BEING A PORTION OF A CALLED 20.00 ACRE TRACT OF LAND DESIGNATED AS TRACT 2 AND DESCRIBED IN A DEED TO PREMAS GLOBAL LEANDER I, LLC OF RECORD IN DOCUMENT NO. 2009000970, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, AS SURVEYED BY LOOMIS PARTNERS, INC. AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a Texas Department of Transportation (TXDOT) Type II concrete monument found in the south right-of-way line of Crystal Falls Parkway at the northwest corner of the said Premas Tract 2 and the northeast corner of that called 0.239 acre tract of land designated as Exhibit B, Part 1 and described in a deed to Williamson County of Record in Document No. 2004097776, Official Public Records of Williamson County, Texas;

THENCE N 69° 34' 50" E, with the south right-of-way line of Crystal Falls Parkway and the north line of the said Premas Tract 2, a distance of 326.31 feet to a ½-inch iron rod with cap marked "Cotton Surveying" found at the southwest corner of that called 0.1158 acre tract of land described in a deed to the City of Leander, Texas of record in Document No. 2002032250, Official Public Records of Williamson County, Texas, for an angle point in the south right-of-way line of Crystal Falls Parkway and an angle point in the north line of the said Premas Tract 2;

THENCE N 69° 37' 03" E, continuing with the south right-of-way line of Crystal Falls Parkway and the north line of the said Premas Tract 2, same being the south line of the said 0.1158 acre City of Leander tract, a distance of 536.90 feet to a calculated point in the west line of that called 66.49 acre tract of land described in a deed to Richard Davis and Linda Davis of record in Document No. 9716886, Official Records of Williamson County, Texas, for the southeast corner of the said 0.1158 acre City of Leander tract and for the southwest corner of that called 0.0612 acre tract of land described in a deed to the City of Leander, Texas of record in Document No. 2003024007, Official Public Records of Williamson County, Texas, same being the northeast corner of the said Premas Tract 2;

THENCE S 19° 50' 44" E, with the east line of the said Premas Tract 2 and the west line of the said Davis 66.49 acre tract, a distance of 446.02 feet to a calculated point for the northeast corner and **POINT OF BEGINNING** of the tract described herein, said calculated point being on the approximate Leander City Limit Line, being 501 feet from the centerline of Crystal Falls Parkway;

THENCE S 19° 50' 44" E continuing with the east line of the said Premas Tract 2 and the west line of the said Davis 66.49 acre tract, at a distance of 350.94 feet pass a ½-inch iron rod with cap stamped "Forest 1847" found at the southeast corner of the said Premas Tract 2 and the northeast corner of said Premas Tract 1, and continuing with the east line of the said Premas Tract 1 and the west line of the said Davis 66.49 acre tract, a total distance of 2,407.90 feet to a ½-inch iron rod with cap stamped "Forest 1847" found at an angle point in the east line of the said Premas Tract 1 and the west line of the said Davis 66.49 acre tract, for an angle point in the east line of the herein described tract;

THENCE S 19° 32' 23" E continuing with the east line of the said Premas Tract 1 and the west line of the said Davis 66.49 acre tract, at a distance of 176.58 feet pass a ½-inch iron rod with cap stamped "Forest 1847" found on line and continuing for a total distance of 235.95 feet to a calculated point in the approximate centerline of Block House Creek, being the north line of that called 111.08 acre tract of land

designated as Exhibit A and described in a deed to Pecan Grove-SPVEF, L.P. of record in Document No. 2007013001, Official Public Records of Williamson County, Texas, for the southeast corner of the said Premas Tract 1 and the southwest corner of the said Davis 66.49 acre tract, for the southeast corner of the herein described tract;

THENCE with the approximate centerline of Block House Creek, being the north line of the said 111.08 acre tract and the south line of the said Premas Tract 1, the following six (6) courses and distances:

1. S 84° 58' 53" W, a distance of 3.03 feet to a calculated angle point,
2. S 79° 37' 42" W, a distance of 135.87 feet to a ½-inch iron rod with cap stamped "Forest 1847" found at an angle point,
3. S 84° 52' 30" W, a distance of 402.22 feet to a calculated angle point, from which a cotton gin spindle found bears, S 27° 54' 22" E a distance of 15.00 feet,
4. N 59° 02' 02" W, a distance of 78.74 feet to a calculated angle point, from which a cotton gin spindle found bears, S 34° 06' 35" W a distance of 16.88 feet,
5. N 70° 56' 22" W, a distance of 116.22 feet to a calculated angle point, and
6. S 64° 18' 52" W, a distance of 97.57 feet to a calculated point in the east right-of-way-line of U. S. Highway No. 183-Alternate (U.S. 183-A), same being the east line of that called 9.684 acre tract of land designated as Exhibit C, and described in a deed to Williamson County, Texas of record in Document No. 2004097776, Official Public Records of Williamson County, Texas for the southwest corner of the said Premas Tract 1 and the northwest corner of the said 111.08 acre tract, for the southwest corner of the tract described herein;

THENCE with the east right-of-way line of said U.S. 183-A, being the east line of the said 9.684 acre tract, the east line of that called 1.384 acre tract of land designated as Exhibit A and described in a deed to Williamson County, Texas of record in Document No. 2004097776, Official Public Records of Williamson County, Texas and the east line of that called 0.106 acre tract of land designated as Exhibit B, Part 2 and described in a deed to Williamson County, Texas of record in Document No. 2004097776, Official Public Records of Williamson County, Texas, same being the west line of the said Premas Tract 1, the following three (3) courses and distances:

1. N 28° 12' 53" W, at a distance of 576.09 feet pass a TXDOT Type II concrete monument found on line and continuing for a total distance of 2,144.65 feet to a TXDOT Type II concrete monument found at an angle point,
2. N 23° 43' 05" W, a distance of 151.29 feet to a TXDOT Type II concrete monument found for an angle point, and
3. N 28° 11' 47" W, a distance of 112.51 feet to a calculated point for the northwest corner of the tract described herein, said calculated point being on the approximate Leander City Limit Line, being 501 feet from the centerline of Crystal Falls Parkway, and from which a TXDOT Type II concrete monument found for reference bears N 28° 11' 47" W a distance of 299.27 feet;

THENCE N 69° 37' 03" E, crossing the said Premas Tract 2 with the said approximate Leander City Limit Line, being 501 feet from the centerline of Crystal Falls Parkway, a distance of 1,103.25 feet to the **POINT OF BEGINNING** and containing 53.985 acres of land, more or less.

LOOMIS WORD FILE: FN1091(jdb)

BEARING BASIS: Bearing basis is Texas Coordinate System, Central Zone, NAD83, Grid

53.985 acres
Walter Campbell Survey, A-3
Williamson County, Texas

Loomis Job No. 090105
FN1091(jdb)
Page 3 of 3

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS
COUNTY OF TRAVIS §

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying sketch is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground on July, 2010, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas on this 17th of August, 2010 A.D.

Loomis Partners, Inc.
Austin, Texas 78746



A handwritten signature in black ink, appearing to read "John D. Barnard", written over a horizontal line.

John D. Barnard
Registered Professional Land Surveyor No. 5749
State of Texas

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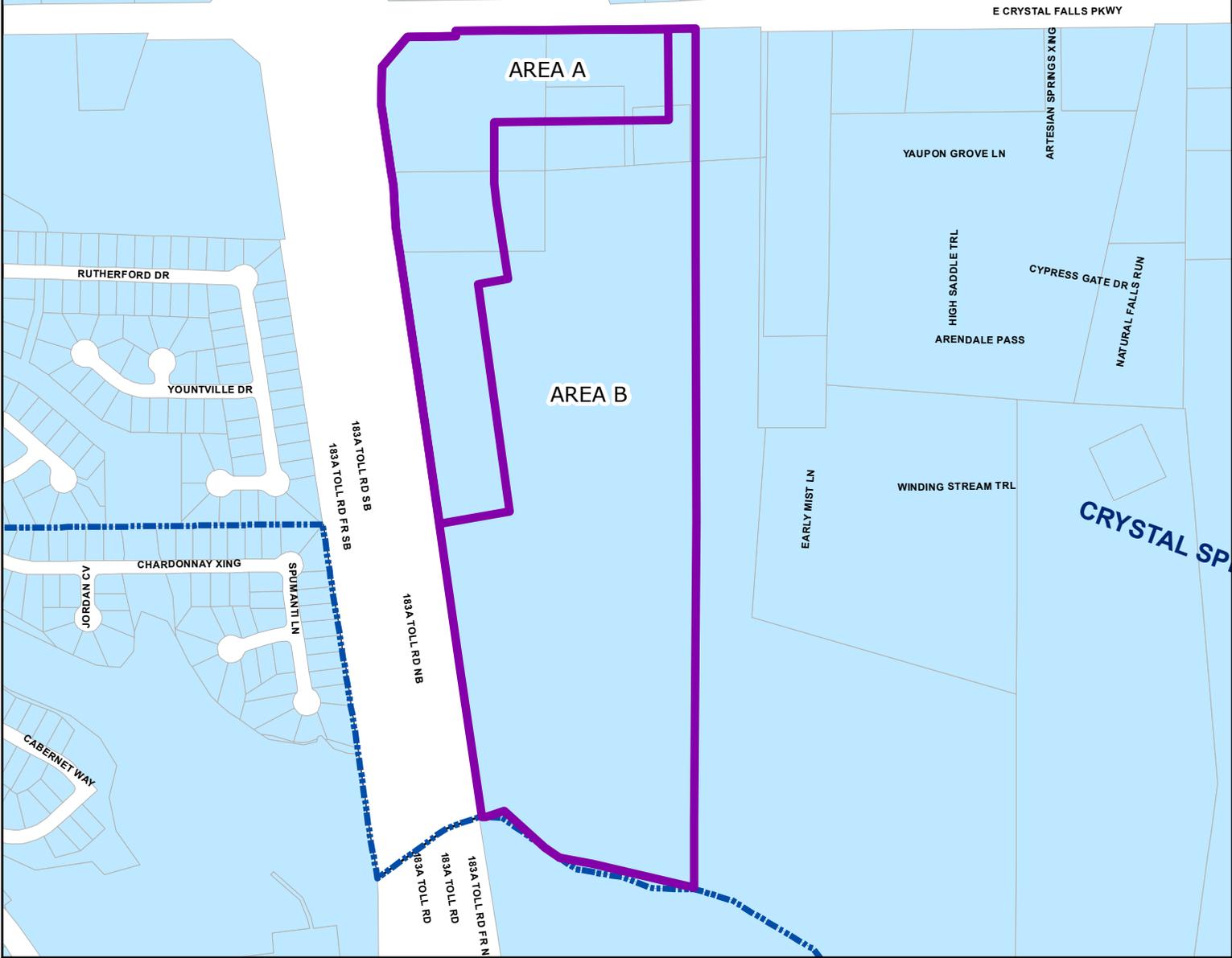
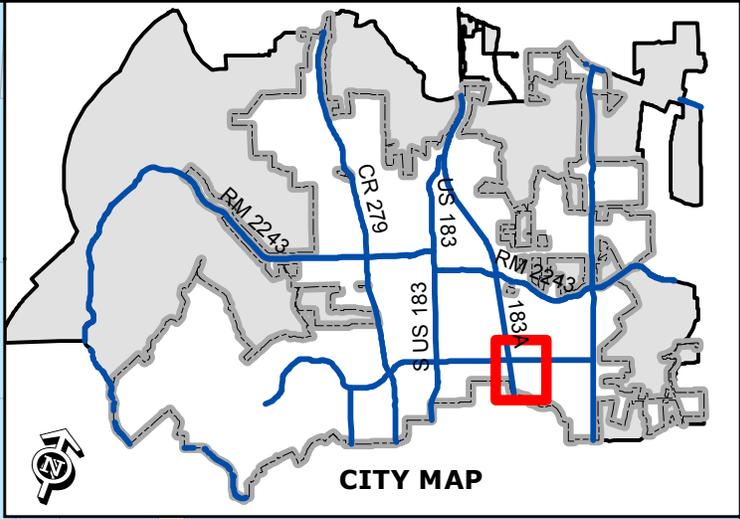
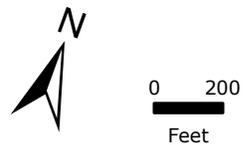
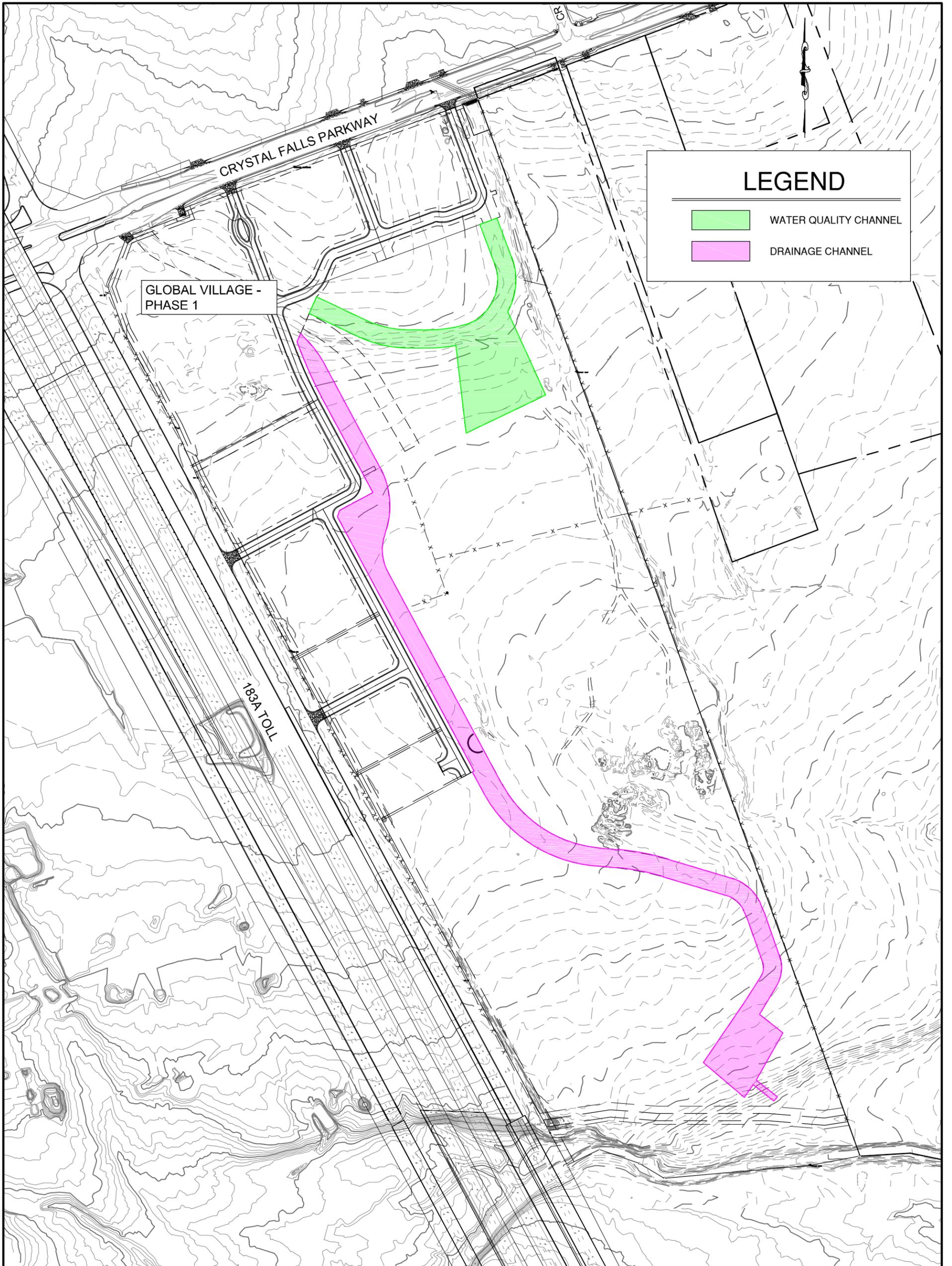


EXHIBIT C - Global Village

-  Subject Property
-  City Limits





GLOBAL VILLAGE - PHASE 1

CRYSTAL FALLS PARKWAY

183A TOLL

LEGEND

- WATER QUALITY CHANNEL
- DRAINAGE CHANNEL

GLOBAL VILLAGE PHASE ONE
WATER QUALITY EXHIBIT



SCALE: 1 INCH = 250' FT

Bowman
CONSULTING

1120 S. Capital of Texas Hwy. • Building 3, Suite 220 • Austin, Texas 78746
Phone: (512) 327-1180 • Fax: (512) 327-4062 • www.bowmanconsulting.com
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TBPE Firm Registration No. F-14309



EXECUTIVE SUMMARY

JUNE 09, 2016

Agenda Subject: Zoning Case 16-Z-006: Hold a public hearing and consider action on the rezoning of 50.615 acres more or less out of the C. Ybarbo Survey, No. 420 and the C.C. Chafin Survey No. 78, generally located to the west of the intersection of Crystal Falls Pkwy and Lakeline Blvd, more specifically to the west of the Fairways at Crystal Falls, Section 5 Subdivision; TCAD ID 796313. Currently, the property is zoned SFS-2-B (Single-Family Suburban). The applicant is proposing to zone the property to PUD (Planned Unit Development) with a base zoning district of MF-2-A (Multi-Family), Leander, Travis County, Texas.

Background: This request is the first step in the rezoning process.

Origination: Applicant: Mike Siefert on behalf of Lookout Partners, LP.

Financial Consideration: None

Recommendation: See Planning Analysis.

Motion: APPROVAL: The Planning & Zoning Commission recommends approval of rezoning the subject property to _____.
(zoning district)

DENIAL: The Planning & Zoning Commission recommends denial of the applicant's request to rezone the subject property.

Attachments:

1. Planning Analysis
2. Current Zoning Map
3. Future Land Use Map
4. Notification Map
5. Proposed Zoning Map
6. Aerial Map
7. PUD Notes and Conceptual Site Layout & Land Use Plan
8. Letter of Intent
9. Approved Preliminary Plat

Prepared By: Robin M. Griffin, AICP
Senior Planner

06/03/2016



PLANNING ANALYSIS

ZONING CASE 16-Z-006

FAIRWAYS, SECTION 6 PUD

GENERAL INFORMATION

- Owner:** Lookout Partners, LP.
- Current Zoning:** SFS-2-B (Single-Family Suburban)
- Proposed Zoning:** PUD (Planned Unit Development) with a base zoning district of MF-2-A (Multi-Family)
- Size and Location:** The property is generally located to the west of the intersection of Crystal Falls Pkwy and Lakeline Blvd, more specifically to the west of the Fairways at Crystal Falls, Section 5 Subdivision and is approximately 50.615 acres in size.
- Staff Contact:** Robin M. Griffin, AICP
Senior Planner

ABUTTING ZONING AND LAND USE:

The table below lists the abutting zoning and land uses.

| | ZONING | LAND USE |
|-------|--------------------|--|
| NORTH | SFR-2-B | Established Single-Family Neighborhood (Grand Mesa) |
| EAST | SFR-2-B SFS-2-B | Golf Course Established Single-Family Neighborhood (Fairways) |
| SOUTH | SFR-2-B | Golf Course |
| WEST | SFR-2-B | Established Single-Family Neighborhood (Grand Mesa) |

COMPOSITE ZONING ORDINANCE INTENT STATEMENTS

USE COMPONENTS:

PUD – PLANNED UNIT DEVELOPMENT:

The purpose and intent of the Planned Unit Development (PUD) district is to design unified standards for development in order to facilitate flexible, customized zoning and subdivision standards which encourage imaginative and innovative designs for the development of property within the City. The intent of this zoning request is to provide for the design of a development which permits condo regime single-family development. The intent of this zoning district is to cohesively regulate the development to assure compatibility with adjacent single-family residences, neighborhoods, and commercial properties within the region.

COMPREHENSIVE PLAN STATEMENTS:

The following Comprehensive Plan statements may be relevant to this case:

- Create strong neighborhoods with a variety of housing choices.
- Encourage a range of housing types at a variety of price points.
- The Neighborhood Residential land use category is intended to accommodate a variety of housing types. The density and mix of housing types is dependent on a number of suitability factors including environmental constraints (such as steep topography and floodplain), the availability of sewer infrastructure, proximity to neighborhood and community centers, existing and planned parks and recreation sites, schools, and the road network.

ANALYSIS:

The applicant is requesting the PUD (Planned Unit Development) district in order to allow for the development of a condominium regime single-family project. The surrounding properties include established single-family neighborhoods and the Crystal Falls golf course.

A PUD district can be an appropriate district in this situation because it offers the applicant the opportunity to design a zoning district that will provide for a condominium regime single-family project while limiting the overall density and providing higher design standards.

The applicant is proposing the MF-2-B (Multi-Family) base zoning district to accommodate the proposed development. The proposal includes a total of 98 detached single-family units. The current zoning district would permit single-family lots with a minimum lot width of 70 feet for interior lots and 80 feet for corner lots. There is an approved preliminary plat on file with the City that includes 98 lots for this project. The change in zoning would not increase the density of the units at this location.

This application includes the following higher standards and waivers.

| HIGHER STANDARDS | WAIVERS |
|-----------------------------------|---------------------------------------|
| COMPOSITE ZONING ORDINANCE | |
| 85% Masonry for all structures | - |
| High Quality Roofing Materials | - |
| Density Limitation | Condominium/Cluster Style Development |

The current concept plan includes a variance to the sidewalk and street lighting requirements. If they developed under the current zoning district, these items would not be required.

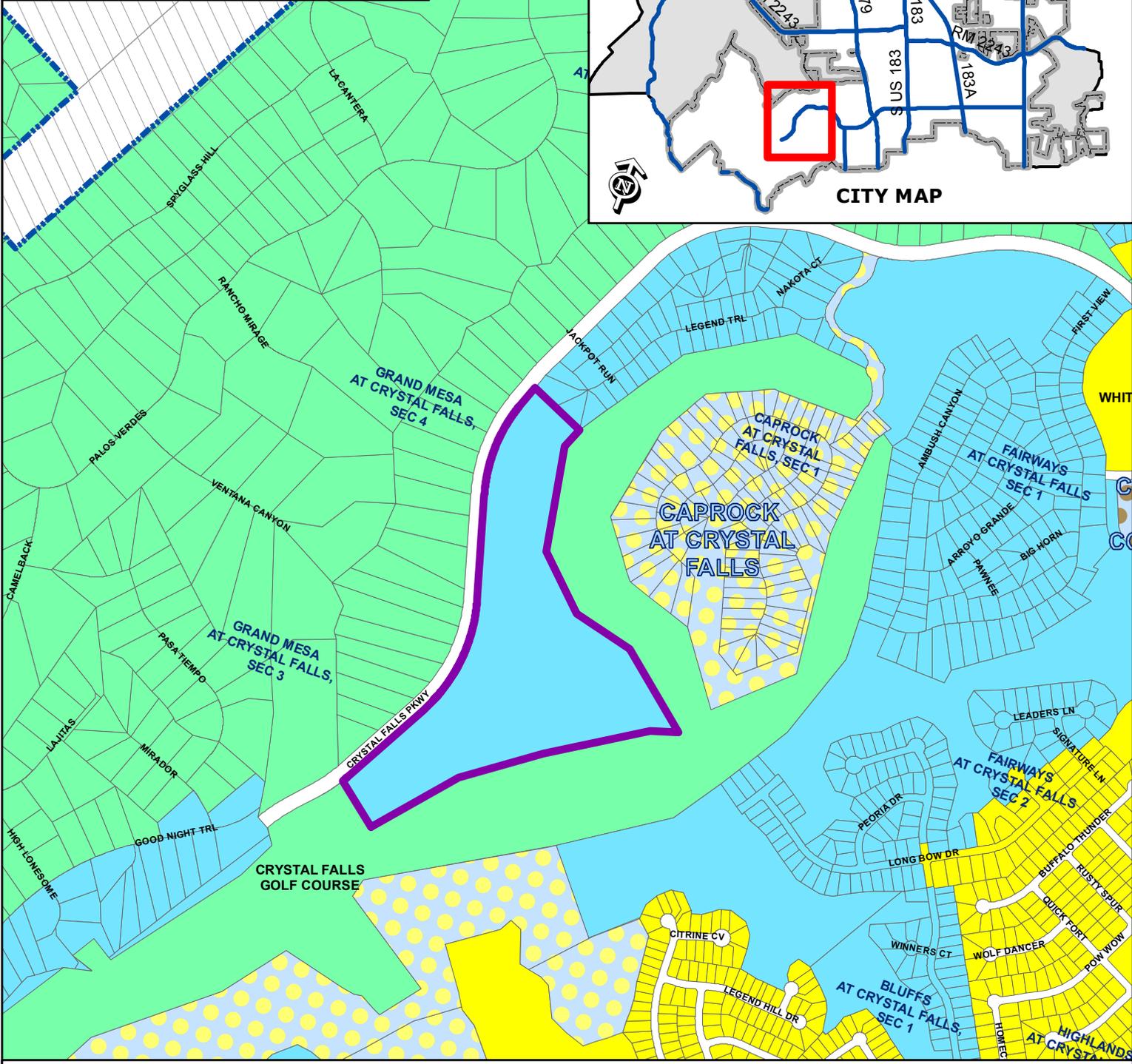
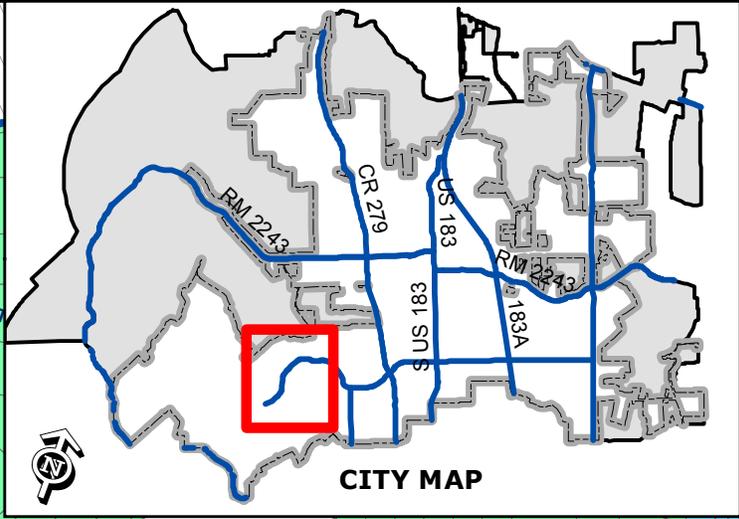
This property is located in the Neighborhood Residential land use category as identified in the Comprehensive Plan. The Neighborhood Residential category seeks to accommodate a variety of housing types based on several suitability factors including availability and future availability of water and wastewater infrastructure, topography, floodplain, the proximity of the property to Neighborhood and Community Centers, and existing or planned parks and schools.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed Fairways, Section 6 PUD as requested. This change in zoning will allow for more flexibility in the location of the homes and aid in the preservation of the trees on the property. The density of the project will remain the same and the architectural component will increase from Type B to Type A.

The requested zoning district meets the intent statements of the Composite Zoning Ordinance and the goals of the Comprehensive Plan.

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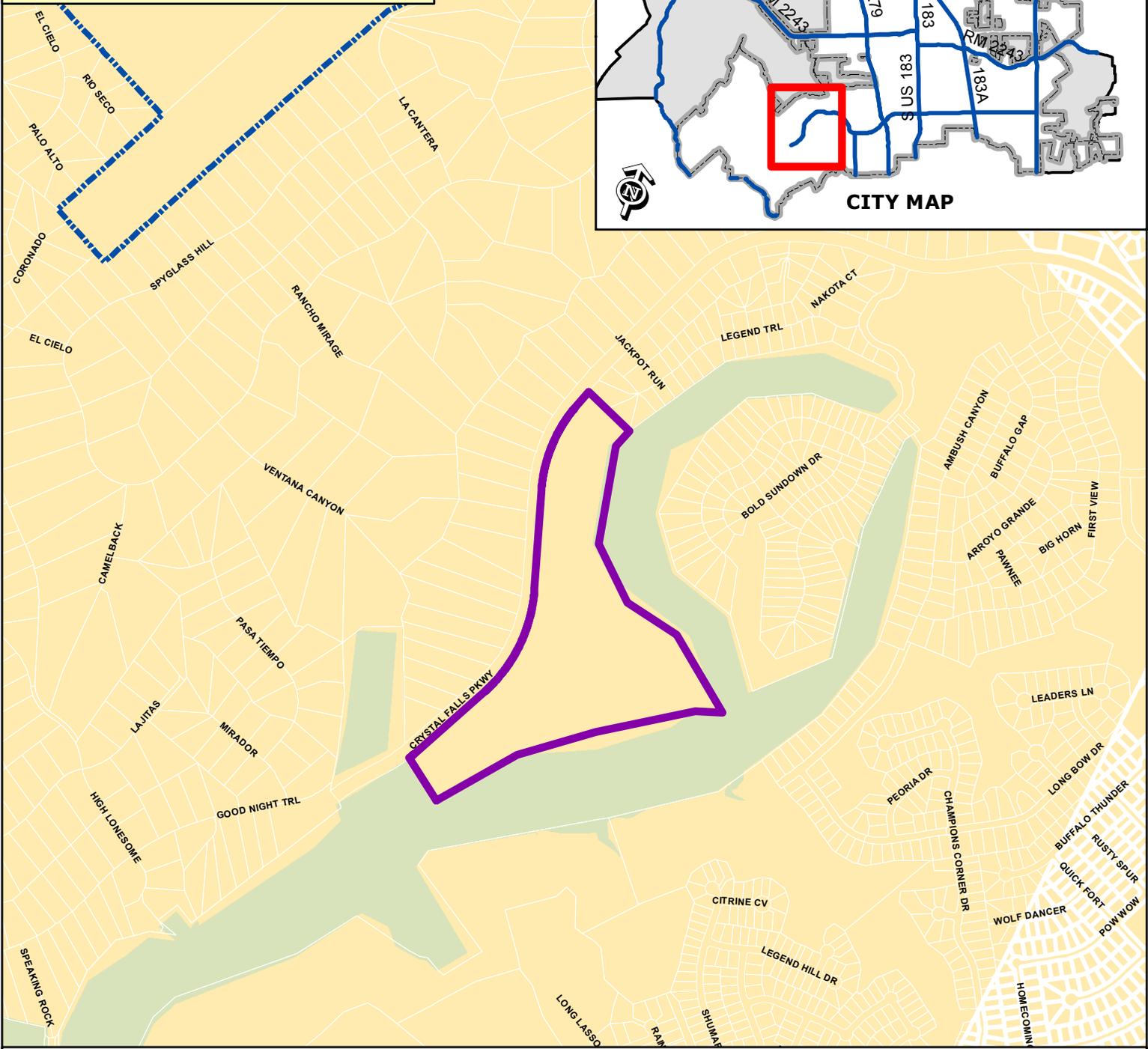
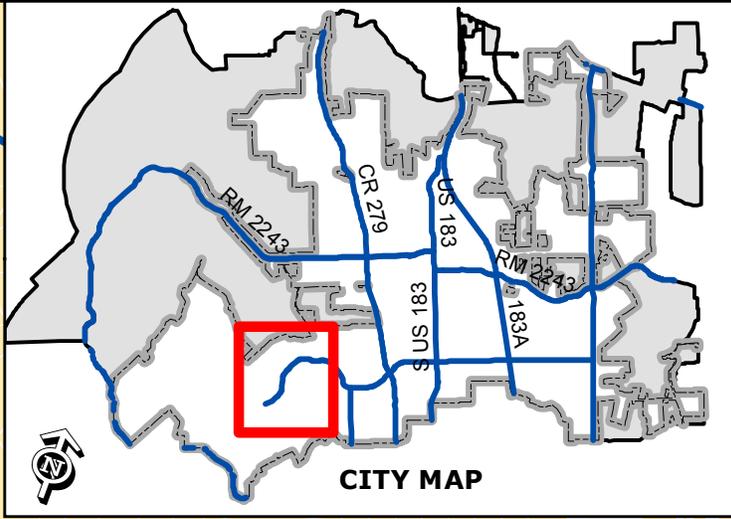
ZONING CASE 16-Z-006 Attachment #2

Current Zoning Map - Fairways PUD

| | | | | | | | | | |
|--|------------------|---|-----|---|--------|---|----|--|---------------------|
|  | Subject Property |  | SFR |  | SFL |  | LO |  | PUD - Commercial |
|  | City Limits |  | SFE |  | SFT |  | LC |  | PUD - Mixed Use |
| | |  | SFS |  | SFU/MH |  | GC |  | PUD - Multi-Family |
| | |  | SFU |  | TF |  | HC |  | PUD - Townhomes |
| | |  | SFC |  | MF |  | HI |  | PUD - Single-Family |



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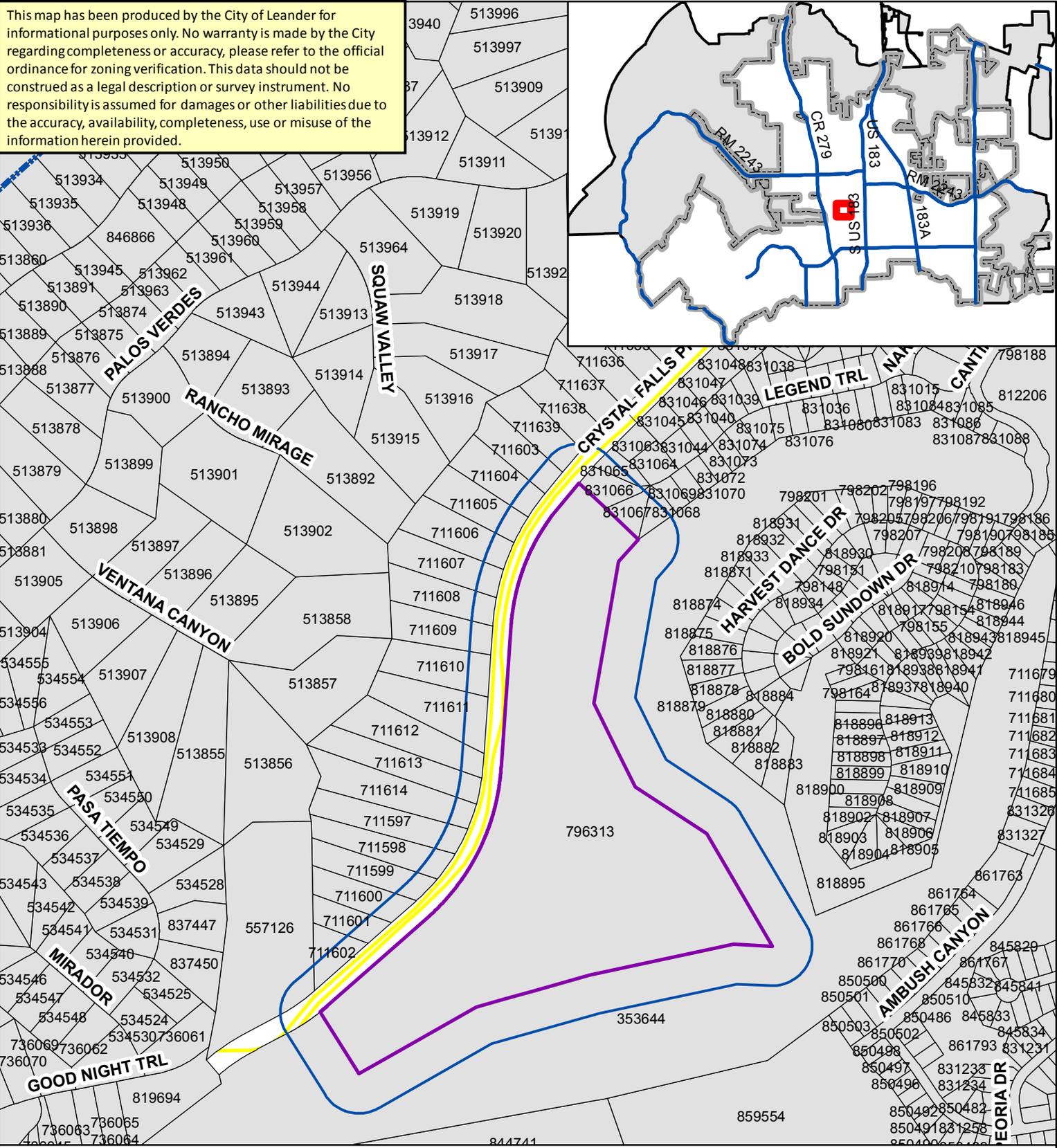
ZONING CASE 16-Z-006 Attachment #3 Future Land Use Map - Fairways PUD

| | | |
|---|--|--|
|  Subject Property |  Commercial Corridor |  Transit Supportive Mixed Use |
|  City Limits |  Neighborhood Center |  Station Area Mixed Use |
|  Open Space |  Community Center |  Old Town Mixed Use |
|  Mixed Use Corridor |  Activity Center |  Employment Mixed Use |
| |  Industrial District | |
| |  Neighborhood Residential | |



0 200
Feet

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ZONING CASE 16-Z-006

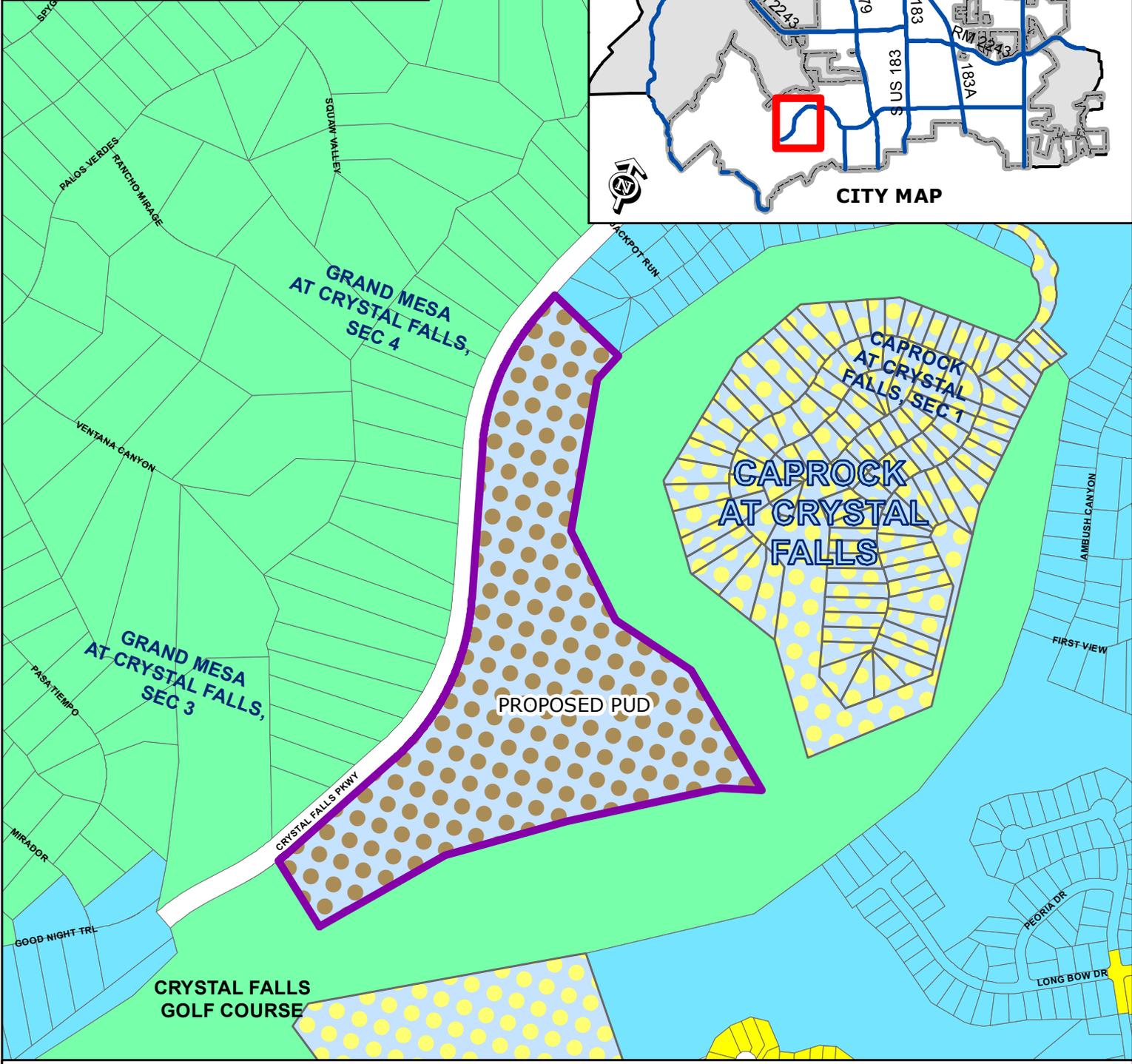
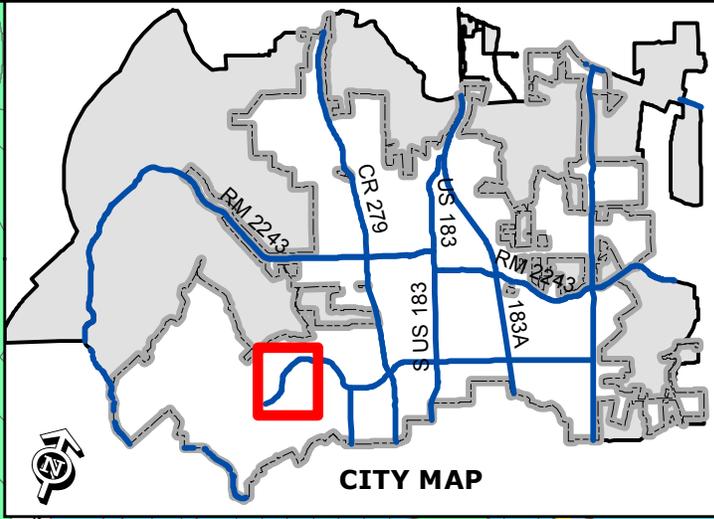
Attachment #4

Notification Map
Fairways Sec 6 Zoning Change

-  Subject_Prop_Buffer
-  Subject Property
-  City Limits
-  TCAD Parcels



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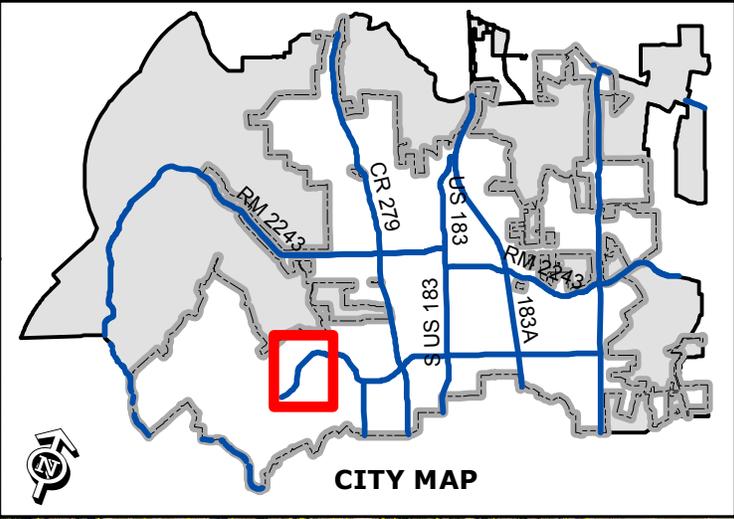
ZONING CASE 16-Z-006 Attachment #5

Proposed Zoning Map - Fairways PUD

| | | | | | | | | | |
|--|------------------|---|-----|---|--------|---|----|--|---------------------|
|  | Subject Property |  | SFR |  | SFL |  | LO |  | PUD - Commercial |
|  | City Limits |  | SFE |  | SFT |  | LC |  | PUD - Mixed Use |
| | |  | SFS |  | SFU/MH |  | GC |  | PUD - Multi-Family |
| | |  | SFU |  | TF |  | HC |  | PUD - Townhomes |
| | |  | SFC |  | MF |  | HI |  | PUD - Single-Family |



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ZONING CASE 16-Z-006 Attachment #6

Aerial Exhibit - Approximate Boundaries
Fairways PUD



-  Subject Property
-  City Limits

EXHIBIT A FAIRWAYS SECTION 6- PUD

A. Purpose and Intent

1. The Fairways Section 6 PUD is composed of approximately 50.615 acres, as shown in Exhibit C. The development of this property is a detached condominium regime single-family community.

B. Applicability and Base Zoning

1. All aspects regarding the development of this PUD shall comply with the City of Leander Composite Zoning Ordinance, except as established in this exhibit, titled Exhibit A.
2. For the purpose of establishing development standards for the PUD, base zoning of MF-2-B (Multi-Family) has been selected from the Leander Composite Zoning Ordinance.

C. Conceptual Site Layout & Land Use Plan

1. A Conceptual Site Layout and Land Use Plan has been attached to this PUD, Exhibit B, to illustrate the design intent for the property. The Conceptual Site Layout and Land Use Plan is intended to serve as a guide to illustrate the general community vision and design concepts and is not intended to serve as a final document.

D. Allowable Use

1. The use will be detached single-family dwellings. The maximum dwelling count shall be 98.

E. Development Design Standards

1. Building envelopes shall comply with the following. These dimensions do not include patios (covered or uncovered) or decks.
 - a. Maximum – 100’ wide X 90’ deep
 - b. Minimum – 50’ wide X 50’ deep
2. Development Standards:

| | MF-2-A DETACHED DWELLINGS |
|--|------------------------------|
| Front Setback (minimum from back of curb) | 18 ft. Min |
| Side Setback (minimum between dwelling units) | 10 ft. Min ** |
| Street Side Setback (minimum from back of curb) | 10 ft. Min |
| Rear Setback (minimum) | 20 ft. Min* |
| Perimeter Setback | 15 ft. Min |
| Building Separation (minimum) | 10 ft. Min ** |
| Building Setback from Golf Course | 35 ft. Min |
| Building Height | 35 ft Max |

**This setback is defined as the condition when the rears of two units are immediately adjacent.*

***Eave overhang is not included in calculations for minimum building separation. A minimum of seven feet clear zone between building roof lines will be provided. Patios, decks and similar improvements shall have a minimum separate of 10 feet from all adjacent buildings.*

F. Drive Design

1. Refer to Exhibit B for detailed cross section of vehicular access easement.
2. The minimum centerline radius for private drives is 100-feet. Minimum cul-de-sac drive surface radius is 50-feet.
3. The access drive alignment, building pads and island locations may vary to minimize disturbance to significant trees and natural topographic features. Private drives will have a 23-foot wide pavement width with 18-inch ribbon curbs or a 23-foot wide pavement width with 24-inch curb and gutter (which includes mountable curb or stand up curb).
4. This project will be gated.
5. A path for a golf cart connection shall be provided from this development to the Golf Course clubhouse. This path is required to be a minimum of 10-feet and constructed of concrete.

G. Architectural & Parking Requirements

1. All residential homes within this project shall comply with the applicable standards of the Type B Architectural Component and the Architectural Standards for single-family districts as listed in Article VII and Article VIII of the Composite Zoning Ordinance unless modified herein. Drives shall constitute streets with regard to this application of the ordinance.
 - a. Each dwelling shall have a minimum of 1,500 square feet of living area and a maximum of 6,000 square feet.
 - b. All dwellings shall be detached.
 - c. Garage Standard: This project shall comply with Article VIII, Section 5, (j) of the Composite Zoning Ordinance.
 - d. All roofing materials shall be tile, standing seam metal, or slate. Laminated, dimensional shingles are prohibited.
 - e. All structures shall be comprised of eighty-five (85%) percent masonry.
 - f. The renderings and elevations provided as Exhibit D are conceptual in nature. Once building plans are developed for this product the homes built shall substantially conform to the overall architectural style of Exhibit D.
2. Parking
 - a. A minimum of two garage-enclosed parking spaces and two additional off-street parking spaces (the garage driveway may be counted toward the provision of off-street parking if it is a minimum of 18' long) shall be provided per unit.

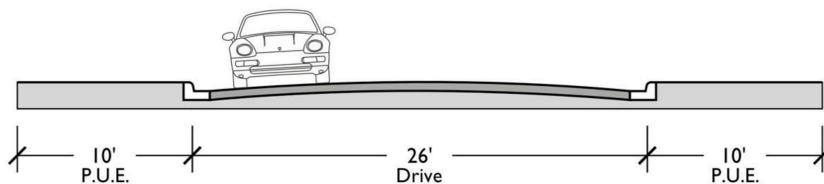
H. Fencing, Sidewalks, & Lighting

1. If fencing is proposed, it shall be comprised of wrought iron, decorative tubular metal, or masonry.
2. Sidewalks are required to be installed on one side of internal drives.
3. Lighting is not required in the interior of this project, but is permitted. A street light shall be provided at the intersection of the drive and the street.

I. Landscaping

1. This project shall comply with Article VI of the Composite Zoning Ordinance.
 - a. The tree preservation/protection requirements associated with commercial and/or multi-family projects shall apply.
 - b. The landscape requirements associated with single-family projects shall apply.

Private Drive Cross Section

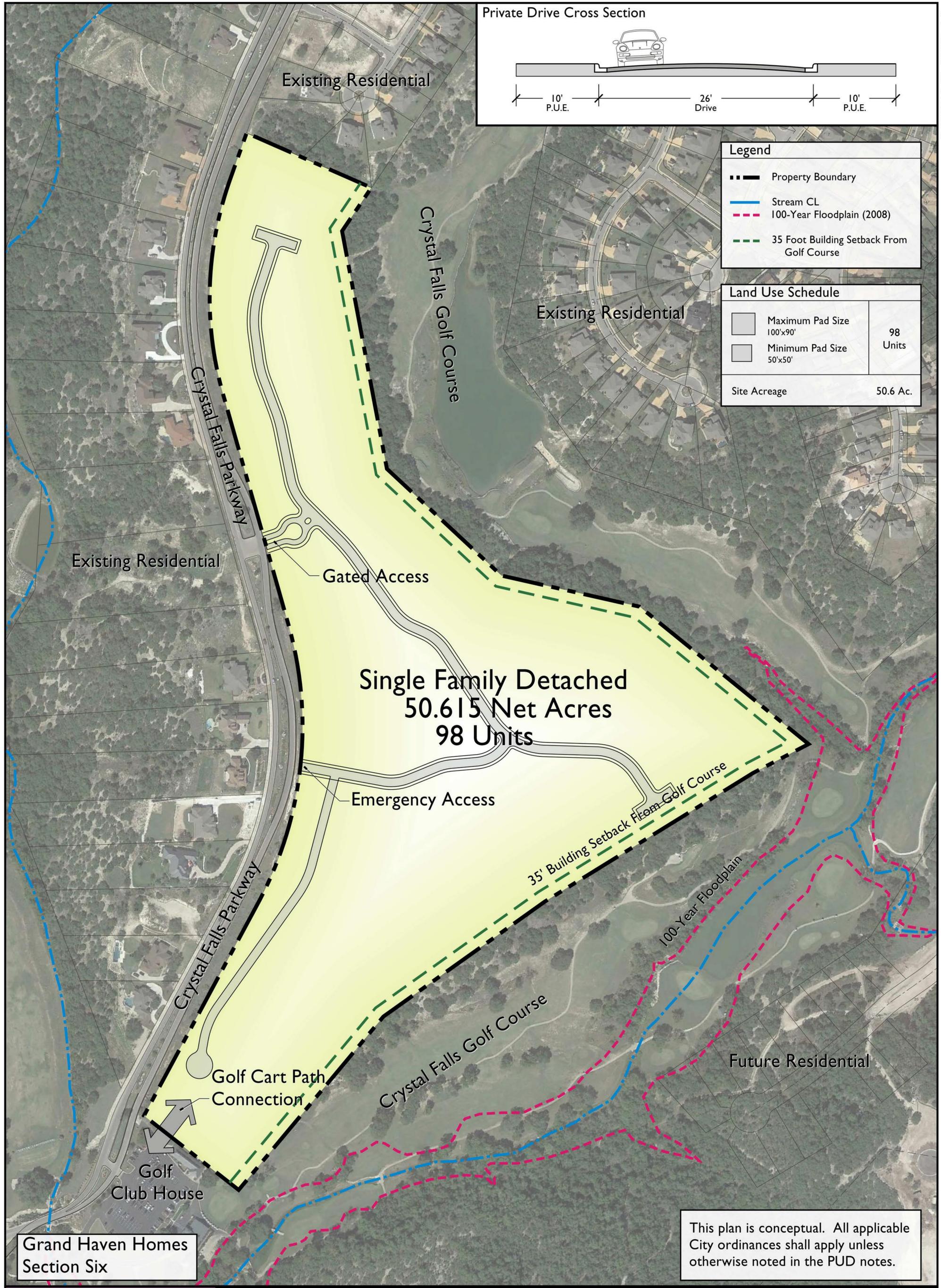


Legend

- Property Boundary
- Stream CL
- 100-Year Floodplain (2008)
- 35 Foot Building Setback From Golf Course

Land Use Schedule

| | |
|------------------------------|----------|
| Maximum Pad Size 100'x90' | 98 Units |
| Minimum Pad Size 50'x50' | |
| Site Acreage | 50.6 Ac. |



Single Family Detached
50.615 Net Acres
98 Units

Grand Haven Homes
Section Six

This plan is conceptual. All applicable City ordinances shall apply unless otherwise noted in the PUD notes.

Crystal Falls
Leander, Texas

Exhibit B Conceptual Site Layout And Land Use Plan

SCALE: 1" = 100'
0 50 100 200
DATE: 06-01-2016

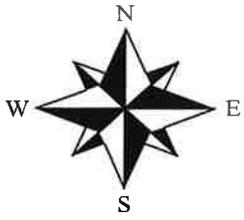


712 Congress Avenue, Suite 300
Austin, TX 78701
Tel: (512) 480-0032 Fax: (512) 480-0617
www.rvplanning.com
rvl
planning + landscape architecture

All information furnished regarding this property is from sources deemed reliable. However, RVI has not made an independent investigation of these sources and no warranty or representation is made by RVI as to the accuracy thereof and same is submitted subject to errors, omissions, land plan changes, or other conditions. This land plan is conceptual in nature and does not represent any regulatory approval. Land plan is subject to change. The developer has reserved the right, without notice, to make changes to this map and other aspects of the development to comply with governmental requirements and to fulfill its marketing objective.

CURVE TABLE

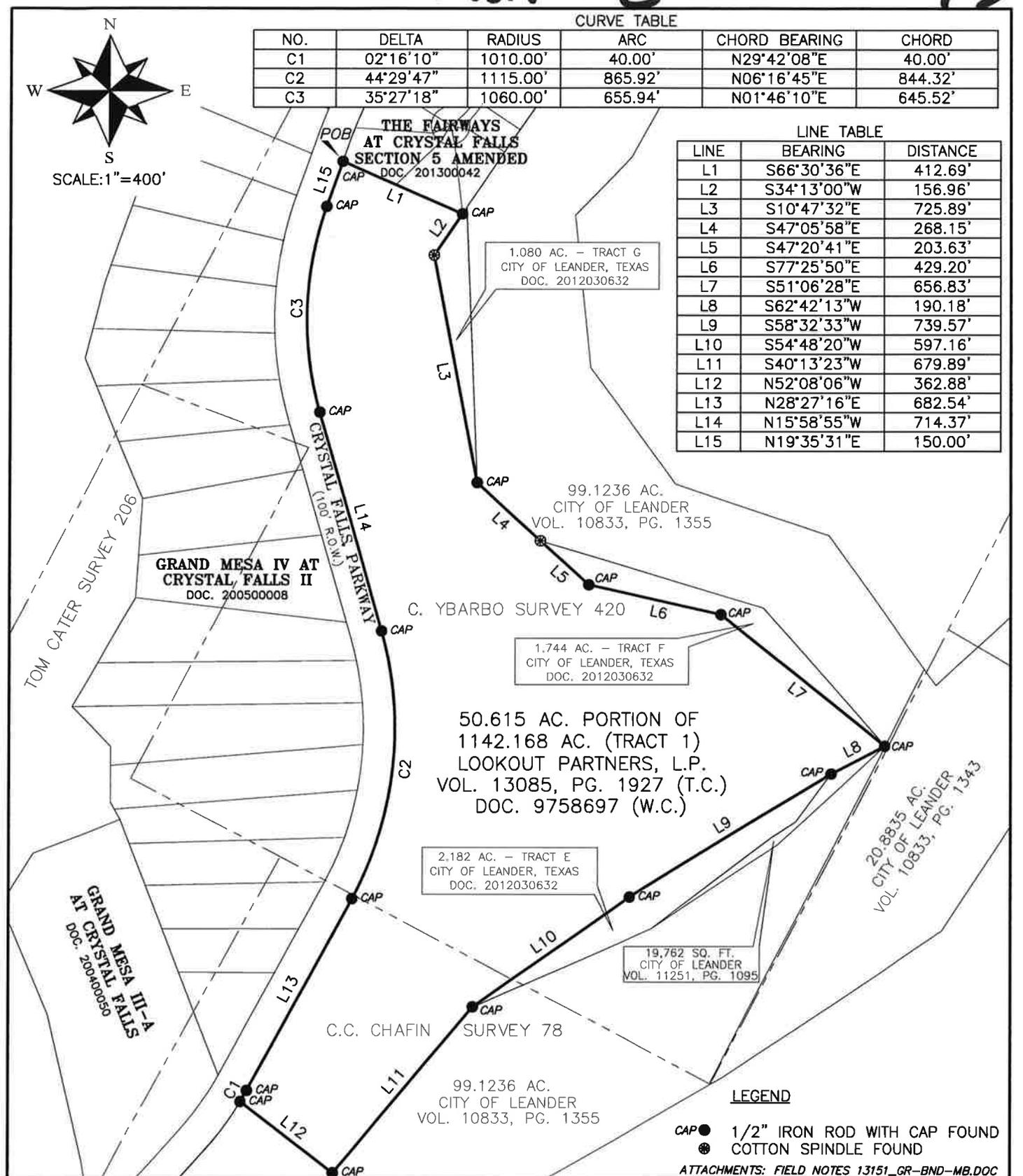
| NO. | DELTA | RADIUS | ARC | CHORD BEARING | CHORD |
|-----|-----------|----------|---------|---------------|---------|
| C1 | 02°16'10" | 1010.00' | 40.00' | N29°42'08"E | 40.00' |
| C2 | 44°29'47" | 1115.00' | 865.92' | N06°16'45"E | 844.32' |
| C3 | 35°27'18" | 1060.00' | 655.94' | N01°46'10"E | 645.52' |



SCALE: 1" = 400'

LINE TABLE

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S66°30'36"E | 412.69' |
| L2 | S34°13'00"W | 156.96' |
| L3 | S10°47'32"E | 725.89' |
| L4 | S47°05'58"E | 268.15' |
| L5 | S47°20'41"E | 203.63' |
| L6 | S77°25'50"E | 429.20' |
| L7 | S51°06'28"E | 656.83' |
| L8 | S62°42'13"W | 190.18' |
| L9 | S58°32'33"W | 739.57' |
| L10 | S54°48'20"W | 597.16' |
| L11 | S40°13'23"W | 679.89' |
| L12 | N52°08'06"W | 362.88' |
| L13 | N28°27'16"E | 682.54' |
| L14 | N15°58'55"W | 714.37' |
| L15 | N19°35'31"E | 150.00' |



LEGEND

- CAP 1/2" IRON ROD WITH CAP FOUND
- ⊙ COTTON SPINDLE FOUND

ATTACHMENTS: FIELD NOTES 13151_GR-BND-MB.DOC

SHEET

1 / 1

EXHIBIT

BEARING BASIS: NAD 83 CENTRAL ZONE
 PLOTTING SCALE: 1" = 400'
 DRAWN BY: PMC
 REVIEWED BY: DRS
 PROJECT NO: 13151
 FILE: L:\13151\DWG\13151_GR-BND-EX
 DATE: MARCH 20, 2013

50.615 ACRES OF LAND SITUATED IN TRAVIS COUNTY, TEXAS, OUT OF THE C. YARBO SURVEY NO. 420 AND THE C.C. CHAFIN SURVEY NO. 78, BEING A PORTION OF A 1,142.168 ACRE TRACT DESCRIBED IN A DEED OF RECORD TO LOOKOUT PARTNERS, L.P., IN VOLUME 13085, PAGE 1927 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, AND IN DOCUMENT NUMBER 9758697, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS

GR
 SURVEYING, LLC
 1805 OUIDA DR.
 AUSTIN, TEXAS 78728
 PHONE: (512) 267-7430
 FAX: (512) 836-8385



2/3

LOOKOUT PARTNERS
CAP ROCK ESTATES 2
50.615 ACRES

DESCRIPTION OF 50.615 ACRES OF LAND SITUATED IN TRAVIS COUNTY, TEXAS, OUT OF THE C. YBARBO SURVEY NO. 420 AND THE C.C. CHAFIN SURVEY NO. 78, BEING A PORTION OF A 1,142.168 ACRE TRACT DESCRIBED IN A DEED OF RECORD TO LOOKOUT PARTNERS, L.P., IN VOLUME 13085, PAGE 1927 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, AND IN DOCUMENT NUMBER 9758697, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 50.615 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a iron rod with cap found in the easterly line of Crystal Falls Parkway (100' R.O.W.), at the southwesterly corner of The Fairways at Crystal Falls Section 5 Amended, a subdivision of record in Document Number 201300042, Official Public Records of Travis County, Texas, for the northwesterly corner hereof;

THENCE S66°30'36"E, with the southerly line of said Fairways at Crystal Falls Section 5 Amended, a distance of 412.69 feet to a iron rod with cap found at the southeasterly corner of The Fairways at Crystal Falls Section 5 Amended, and being the most northerly corner of a 1.080 acre tract of land (Tract G) described in a deed of record to the City of Leander, Texas in Document No. 2012030632 of the Official Public Records of Travis County, for the northeasterly corner hereof;

THENCE with the westerly line of said 1.080 acre tract the following two (2) courses:

1. S34°13'00"W, a distance of 156.96 feet to a cotton spindle found;
2. S10°47'32"E, a distance of 725.89 feet to a iron rod with cap found in the westerly line of a 99.1236 acre tract of land, described in a deed of record to the City of Leander in Volume 10833, Page 1355 of the Real Property Records of Travis County, Texas and being the most southerly corner of said 1.080 acre tract;

THENCE S47°05'58"E, with the westerly line of said 99.1236 acre tract, a distance of 268.15 feet to a cotton spindle found at the most westerly corner of a 1.744 acre tract of land (Tract F) described in a deed of record to the City of Leander, Texas in Document No. 2012030632 of the Official Public Records of Travis County;

THENCE with the southwesterly line of said 1.744 acre tract the following three (3) courses:

1. S47°20'41"E, a distance of 203.63 feet to a iron rod with cap found;
2. S77°25'50"E, a distance of 429.20 feet to a iron rod with cap found;
3. S51°06'28"E, a distance of 656.83 feet to a iron rod with cap found at the common corner of the 99.1236 acre tract, the 1.744 acre tract and a 19,762 square foot tract of land described in a deed of record to the City of Leander in Volume 11251, Page 1095 of the Real Property Records of Travis County, Texas, for the most easterly corner hereof;

THENCE S62°42'13"W, with the northerly line of said 19,762 square foot tract, a distance of 190.18 feet to a iron rod with cap found at the most easterly corner of a 2.182 acre tract of land (Tract E) described in a deed of record to the City of Leander, Texas in Document No. 2012030632 of the Official Public Records of Travis County;

1805 Ouida Drive, Austin, TX 78728
Phone (512)267-7430 • Fax (512)836-8385



3/3

THENCE with the northwesterly line of said 2.182 acre tract the following two (2) courses:

1. S58°32'33"W, a distance of 739.57 feet to a iron rod with cap found;
2. S54°48'20"W, a distance of 597.16 feet to a iron rod with cap found in the westerly line of the 99.1236 acre tract;

THENCE with the westerly line of the 99.1236 acre tract the following two (2) courses:

1. S40°13'23"W, a distance of 679.89 feet to a iron rod with cap found;
2. N52°08'06"W, a distance of 326.88 feet to a iron rod with cap found in the curving easterly line of said Crystal Falls Parkway of a curve to the left, for the southwesterly corner hereof;

THENCE with the easterly line of Crystal Falls Parkway, same being a westerly line of the 1,142.168 acre tract, the following six (6) courses:

1. Along said curve to the left, having a radius of 1,010.00 feet, an arc length of 40.00 feet and a chord which bears N29°42'08"E, a distance of 40.00 feet to a iron rod with cap found at the end of said curve;
2. N28°27'16"E, a distance of 682.54 feet to a iron rod with cap found at the point of curvature of a curve to the left;
3. Along said curve to the left, having a radius of 1115.00 feet, an arc length of 865.92 feet and a chord which bears N06°16'45"E, a distance of 844.32 feet to a 1/2" iron rod with cap found at the end of said curve;
4. N15°58'55"W, a distance of 714.37 feet to a 1/2" iron rod with cap found at the point of curvature of a curve to the right;
5. Along said curve to the right, having a radius of 1060.00 feet, an arc length of 655.94 feet and a chord which bears N01°46'10"E, a distance of 645.52 feet to a 1/2" iron rod with cap found at the end of said curve;
6. N19°35'31"E, a distance of 150.00 feet to the **POINT OF BEGINNING**, containing an area of 50.615 acres of land, more or less.


Phillip L. McLaughlin 03-20-13
Registered Professional Land Surveyor
State of Texas No. 5300



Bearings are based on the Texas Coordinate System, NAD 83, Central Zone.
G&R Surveying Project No. 13151 Attachments: 13151_GR-BND-EX.DWG

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Phone (512)267-7430 • Fax (512)836-8385





THE LOOKOUT GROUP

ATTACHMENT 8

2370 Rice Blvd., Suite 200
Houston, Texas 77005
Tel: 713.524.5263
Fax: 713.524.2807
mycrystalfalls.com

May 26th, 2016

Ms. Robin Griffin
Senior Planner, City of Leander
104 North Brushy Street
PO Box 319
Leander, Texas 78646-0319
Fax (512) 528-2729

Re: Letter of Intent for PUD –Fairways Section 6

Dear Ms. Griffin:

I respectfully request for the City of Leander to consider the attached PUD application for the tract located along Crystal Falls Parkway, near the Crystal Falls Golf Clubhouse. The 50 acre tract (more or less) described in this package is proposed to change from the current zoning of SFS to a PUD with a base zoning district of MF-2-A. The PUD will allow for the development of a 98 unit detached single family condominium project. The condominium regime is necessary to sell the "lock and leave" lifestyle we are targeting with this section. The proposed PUD increases the architectural standards (and overall quality) from the current zoning by: 1) requiring 100% masonry and 2) prohibiting composite roof shingles. This unique condominium product will give the homebuilder the flexibility to save existing trees, keep more of the land adjacent to the golf course as untouched open space and deliver a custom street scene while targeting a specific age demographic.

You can reach me at (512)260-2066 or mike@mycrystalfalls.com if you have any questions.

Regards,

Michael Siefert, P.E.
Vice President of Construction
The Lookout Development Group, Inc.

THE FAIRWAYS @ CRYSTAL FALLS

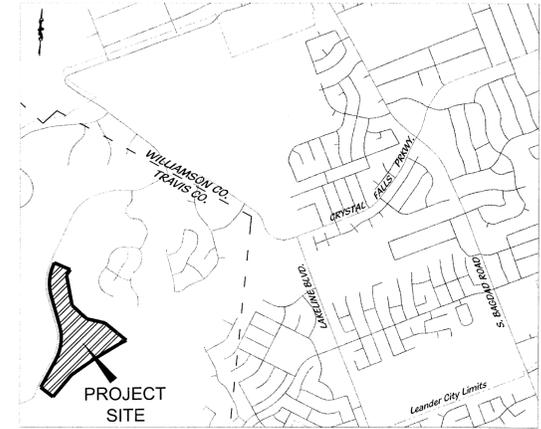
SECTION 6 PRELIMINARY PLAT REVISION 2

IN THE CITY OF LEANDER, TRAVIS COUNTY & WILLIAMSON COUNTY, TEXAS

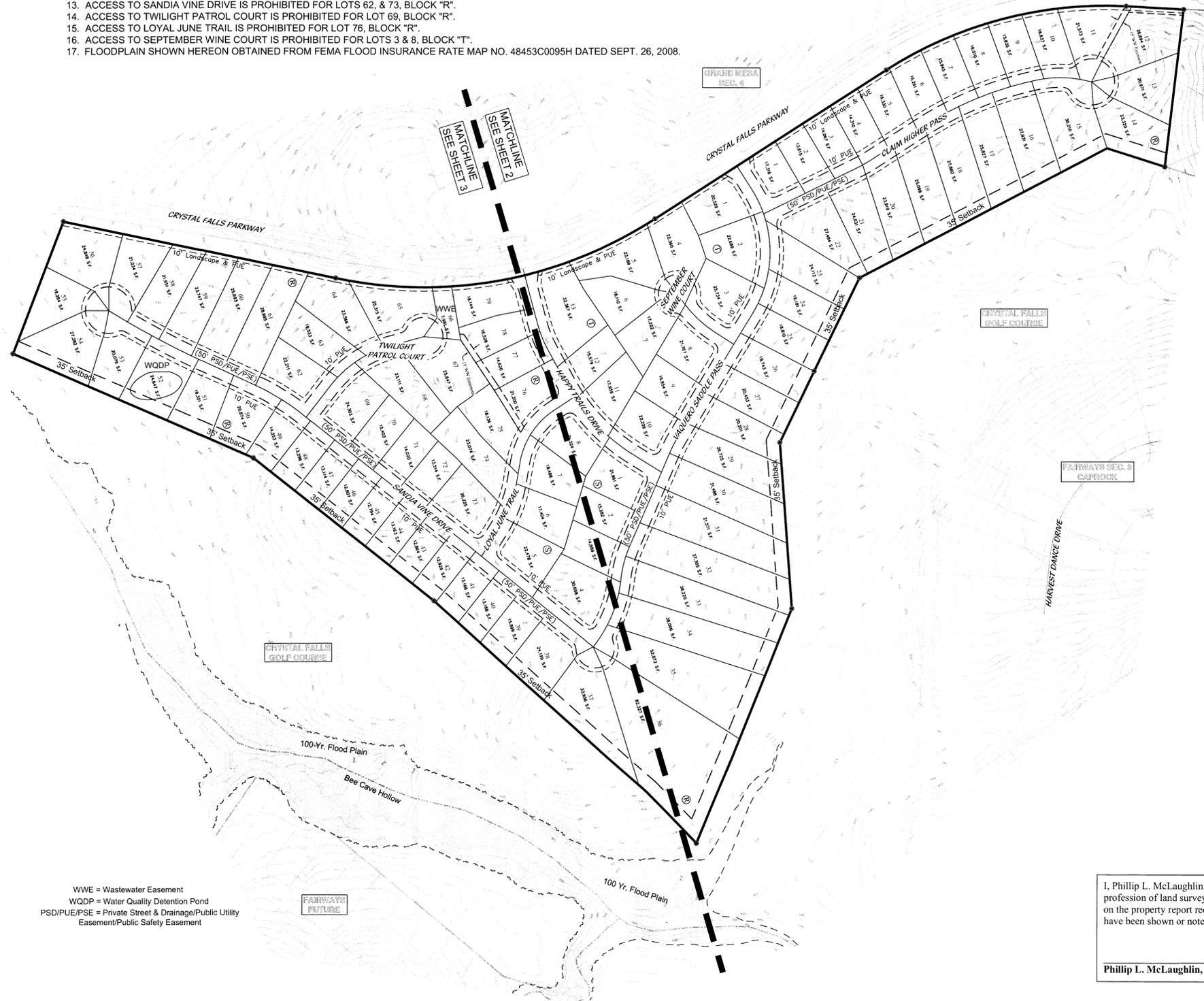


NOTES:

1. A THIRTY-FIVE (35) FOOT BUILDING SETBACK FROM THE CRYSTAL FALLS GOLF COURSE SHALL BE DEDICATED WITH FINAL PLAT.
2. ALL 100-YEAR FLOODPLAIN WITHIN THE SUBDIVISION SHALL BE CONTAINED WITHIN THE DRAINAGE EASEMENT.
3. ALL WATER QUALITY/RETENTION BASINS WITHIN THE SUBDIVISION SHALL BE MAINTAINED BY THE CRYSTAL FALLS HOMEOWNERS ASSOCIATION.
4. OBSTRUCTION OF DRAINAGE EASEMENT IS PROHIBITED.
5. ALL STREETS ARE PRIVATE, UNLESS AMENDED.
6. PARKLAND DEDICATION SATISFIED THROUGH DEVELOPMENT AGREEMENT DATED NOV. 17, 2003.
7. DRIVEWAY ACCESS TO CRYSTAL FALLS PARKWAY IS PROHIBITED.
8. PROPERTY ZONED SFS-2-B.
9. 49.86 ACRES SINGLE-FAMILY RESIDENTIAL.
10. ACCESS TO HAPPY TRAILS DRIVE IS PROHIBITED FOR LOTS 1, & 8, BLOCK "S".
11. ACCESS TO HAPPY TRAILS DRIVE IS PROHIBITED FOR LOT 10 BLOCK "T".
12. ACCESS TO SANDIA VINE DRIVE IS PROHIBITED FOR LOTS 4, & 5, BLOCK "S".
13. ACCESS TO SANDIA VINE DRIVE IS PROHIBITED FOR LOTS 62, & 73, BLOCK "R".
14. ACCESS TO TWILIGHT PATROL COURT IS PROHIBITED FOR LOT 69, BLOCK "R".
15. ACCESS TO LOYAL JUNE TRAIL IS PROHIBITED FOR LOT 76, BLOCK "R".
16. ACCESS TO SEPTEMBER WINE COURT IS PROHIBITED FOR LOTS 3 & 8, BLOCK "T".
17. FLOODPLAIN SHOWN HEREON OBTAINED FROM FEMA FLOOD INSURANCE RATE MAP NO. 48453C0095H DATED SEPT. 26, 2008.

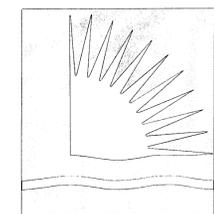


LOCATION MAP
SCALE: 1"=2,000'



| | FAIRWAYS Sec. 6 |
|------------------|--------------------|
| RESIDENTIAL LOTS | 98 |
| ACREAGE | 49.86 Ac. |
| WWE/WQDP LOTS | 2 |
| WWE/WQDP ACREAGE | 0.75 Ac. |
| TOTAL | 50.61 |

Total Acreage = 50.61 Ac.



THE LOOKOUT GROUP

OWNER:
The Lookout Development Group, L.P.
2370 Rice Blvd., Suite 200
Houston, Texas 77005
Phone: (713) 524-5263
Fax: (713) 524-2807

ENGINEER:
Jay Engineering Co., Inc.
Texas Registered Engineering Firm F-4780
P.O. Box 1220
Leander, Texas 78646-1220
Phone: (512) 259-3862
Fax: (512) 259-8016

SURVEYOR:
Phillip L. McLaughlin RPLS
G & R Surveying, LLC
1805 Ouida Drive
Austin, Texas 78728
Phone: (512) 267-7430
Fax: (512) 836-8385

Approved on 3/13/14 by [Signature]

TABLE OF CONTENTS

- 1 Overall Layout
- 2 Layout (100' Scale)
- 3 Layout (100' Scale)
- 4 Water Distribution System
- 5 Wastewater Collection System
- 6 Overall Drainage Plan
- 7 Tree Plan



I, Phillip L. McLaughlin, am authorized under the laws of the state of Texas to practice the profession of land surveying, and hereby state that all existing easements of record as found on the property report received from Independence Title Company on November 18, 2013, have been shown or noted on the Preliminary Plat.

Phillip L. McLaughlin, R.P.L.S. #5300

SCALE: 1"=150'
1 FOOT CONTOURS

Date: 02-05-14

| No. | Date | Revisions | Appr. |
|-----|------|-----------|-------|
| | | | |

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No. **1**
of **7**

Section 6 Preliminary Plat Revision 2
FAIRWAYS
SECTION 6 LAYOUT

THE LOOKOUT GROUP
SCALE: AS NOTED DWN: VDI DESIGN: SDK DATE: Feb 2014
DWG. NO. AS NOTED JOB NO. 157-053-20

Jay Engineering Company, Inc.
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Texas Registered Engineering Firm F-4780



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 Texas Registered Engineering Firm F-4780



| STREET INFORMATION | | | | | | |
|-----------------------|------------|----------------|------------|--------------|--------|------|
| STREET NAME | LENGTH | EASEMENT WIDTH | ROAD WIDTH | DESIGN SPEED | HMAC | BASE |
| CLAIM HIGHER PASS | 939 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
| SEPTEMBER WINE COURT | 198 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
| VAQUERO SADDLE PASS | 1,374 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
| HAPPY TRAILS DRIVE | 662 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
| LOYAL JUNE TRAIL | 493 L.F. | 50' | 27' F-F | 25 MPH | 1-1/2" | 8" |
| TWILIGHT PATROL COURT | 384 L.F. | 50' | 27' F-F | 25 MPH | 1-1/2" | 8" |
| SANDIA VINE DRIVE | 1,536 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |

PSD/PUE/PSE = Private Street & Drainage/Public Utility Easement/Public Safety Easement

| Line Table | | |
|------------|---------|-------------|
| Line # | Length | Direction |
| L1 | 363.13' | S52°08'35"E |
| L2 | 723.41' | S28°26'25"W |
| L3 | 714.49' | S15°58'56"E |
| L4 | 149.61' | S19°44'14"W |
| L5 | 411.94' | N66°29'39"W |
| L6 | 157.40' | N34°17'07"E |
| L7 | 726.23' | N10°46'39"W |
| L8 | 268.33' | N47°16'32"W |
| L9 | 203.71' | N47°15'59"W |
| L10 | 429.17' | N77°26'01"W |
| L12 | 739.76' | N58°32'11"E |
| L13 | 597.09' | N54°47'15"E |
| L14 | 680.18' | N40°07'14"E |

| Curve Table | | | | | |
|-------------|---------|----------|----------|-----------------|---------|
| Curve # | Length | Radius | Delta | Chord Direction | Chord |
| C1 | 866.083 | 1115.000 | 044.5048 | S06°16'49"W | 844.47' |
| C2 | 656.146 | 1060.000 | 035.4664 | S01°47'07"W | 645.72' |

MATCHLINE

SEE SHEET 3

SCALE: 1"=100'
 1 FOOT CONTOURS
 Date: 02-05-14

| NO. | DATE | REVISIONS | APP. |
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Section 6 Preliminary Plat Revision 2
LAYOUT (100' Scale)

THE LOOKOUT GROUP
 SCALE: AS NOTED DWN: VDI DESIGN: SDK DATE: Feb. 2014
 DWG. NO. AS NOTED JOB NO. 157-053-20
 Sheet No. **2** of **7**

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MATCHLINE

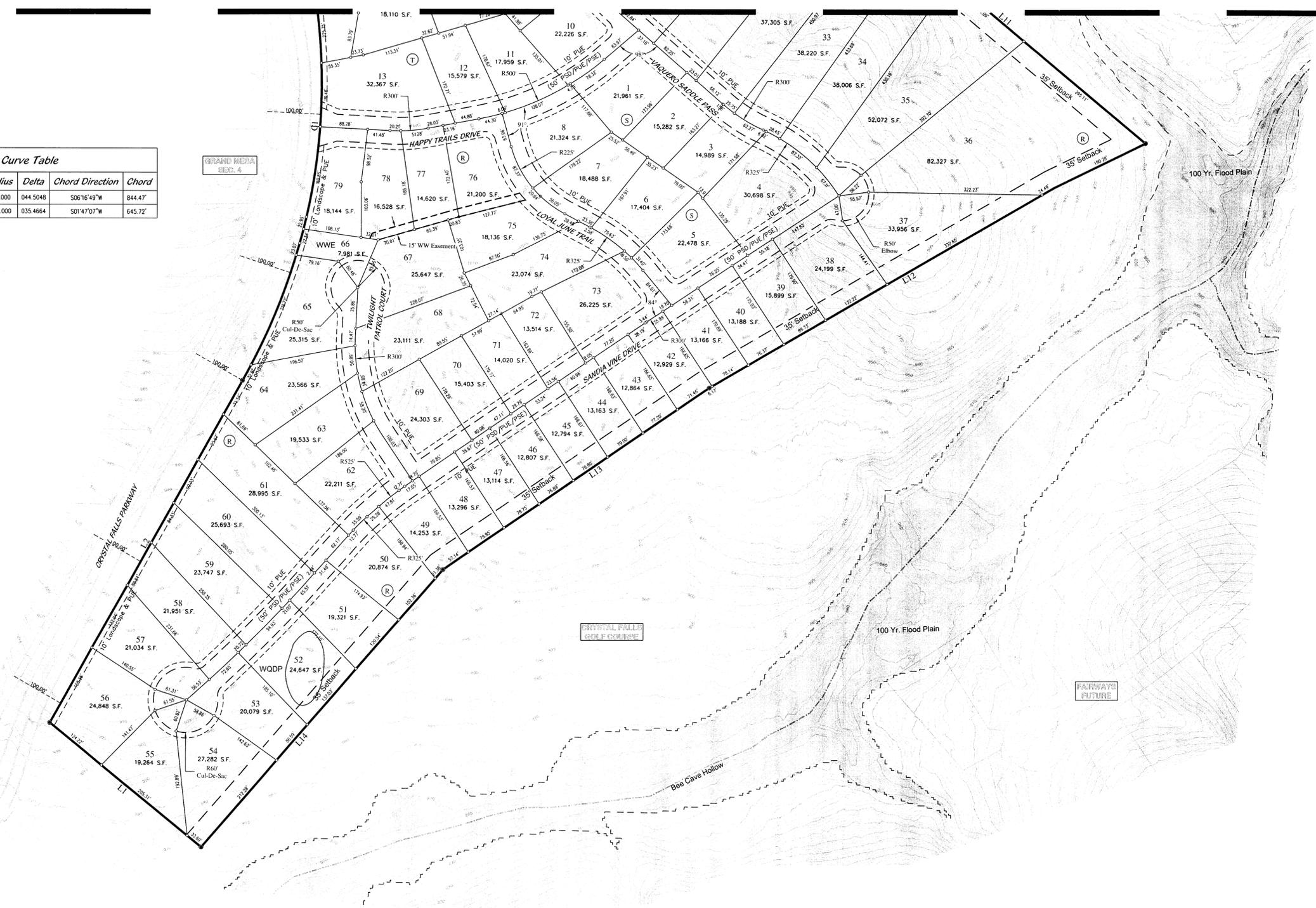
SEE SHEET 2



| Line # | Length | Direction |
|--------|---------|-------------|
| L1 | 363.13' | S52°08'35"E |
| L2 | 723.41' | S28°26'25"W |
| L3 | 714.49' | S15°58'56"E |
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| L6 | 157.40' | N34°17'07"E |
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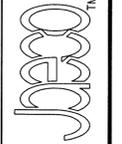
| Curve # | Length | Radius | Delta | Chord Direction | Chord |
|---------|---------|----------|----------|-----------------|---------|
| C1 | 866.083 | 1115.000 | 044.5048 | S06°16'49"W | 844.47' |
| C2 | 656.146 | 1060.000 | 035.4664 | S01°47'07"W | 645.72' |

WWE = Wastewater Easement
 WQDP = Water Quality Detention Pond
 PSD/PUE/PSE = Private Street & Drainage/Public Utility Easement/Public Safety Easement



| STREET INFORMATION | | | | | | |
|-----------------------|------------|----------------|------------|--------------|--------|------|
| STREET NAME | LENGTH | EASEMENT WIDTH | ROAD WIDTH | DESIGN SPEED | HMAC | BASE |
| CLAIM HIGHER PASS | 939 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
| SEPTEMBER WINE COURT | 198 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
| VAQUERO SADDLE PASS | 1,374 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |
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| TWILIGHT PATROL COURT | 384 L.F. | 50' | 27' F-F | 25 MPH | 1-1/2" | 8" |
| SANDIA VINE DRIVE | 1,536 L.F. | 50' | 27' F-F | 30 MPH | 1-1/2" | 8" |

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 Texas Registered Engineering Firm F-4780



Section 6 Preliminary Plat Revision 2
LAYOUT (100' Scale)

THE LOOKOUT GROUP
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 DWG. NO. AS NOTED JOB NO. 157-053-20

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 of **7**

SCALE: 1"=100'
 1 FOOT CONTOURS
 Date: 02-05-14

| NO. | DATE | REVISIONS | APP. |
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THE FAIRWAYS @ CRYSTAL FALLS

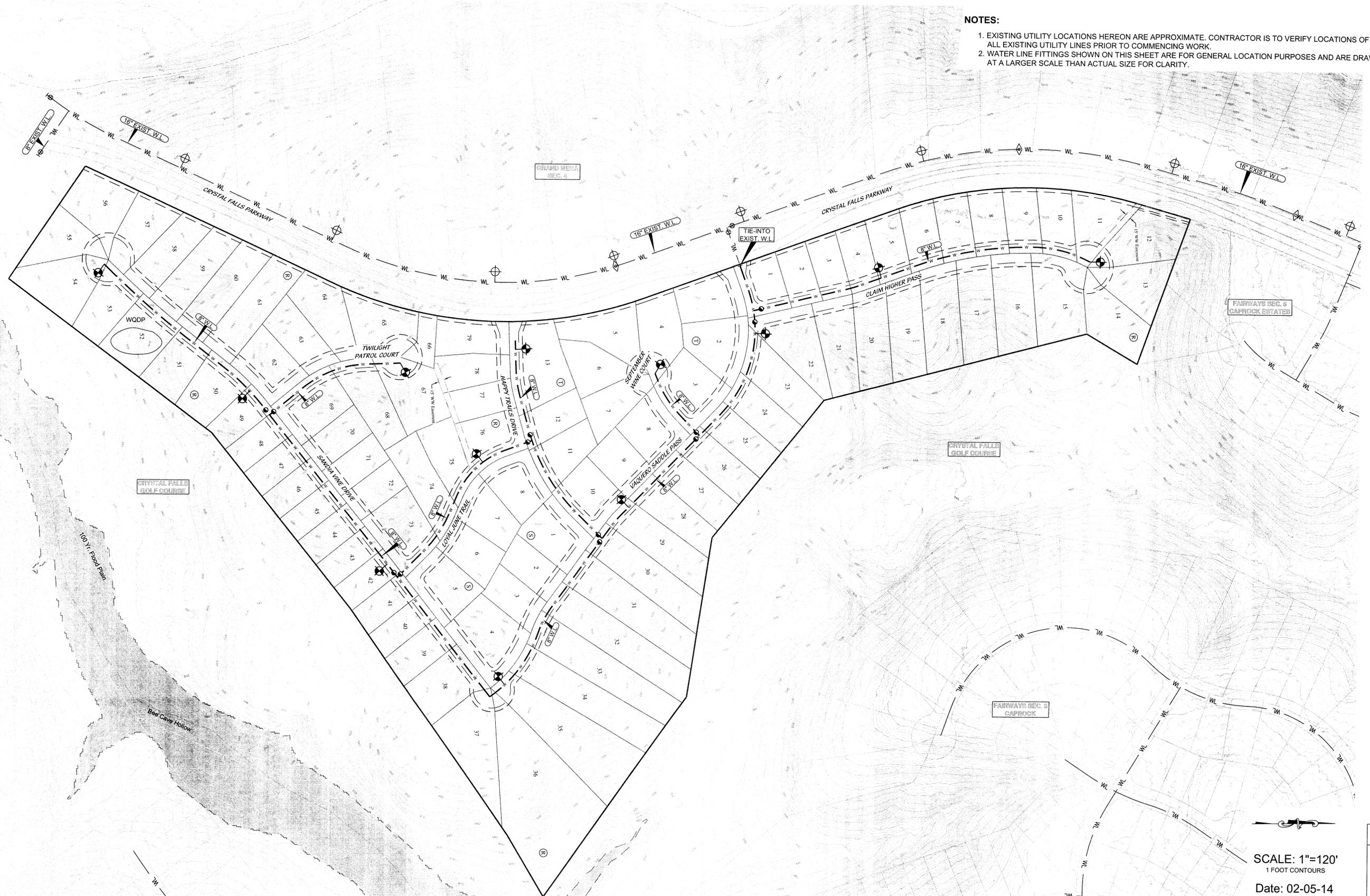
SECTION 6 PRELIMINARY PLAT REVISION 2

IN THE CITY OF LEANDER, TRAVIS COUNTY & WILLIAMSON COUNTY, TEXAS



NOTES:

1. EXISTING UTILITY LOCATIONS HEREON ARE APPROXIMATE. CONTRACTOR IS TO VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO COMMENCING WORK.
2. WATER LINE FITTINGS SHOWN ON THIS SHEET ARE FOR GENERAL LOCATION PURPOSES AND ARE DRAWN AT A LARGER SCALE THAN ACTUAL SIZE FOR CLARITY.



SCALE: 1"=120'
1 FOOT CONTOURS
Date: 02-05-14

WATER DISTRIBUTION PLAN

Jay Engineering Company, Inc.
P.O. Box 1220 78646-1220
Leander, Texas
Tel: (512) 259-8882 Fax: (512) 259-8016
Texas Registered Engineering Firm F-4780



Section 6 Preliminary Plat Revision 2
WATER DISTRIBUTION PLAN

THE LOOKOUT GROUP
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THE FAIRWAYS @ CRYSTAL FALLS

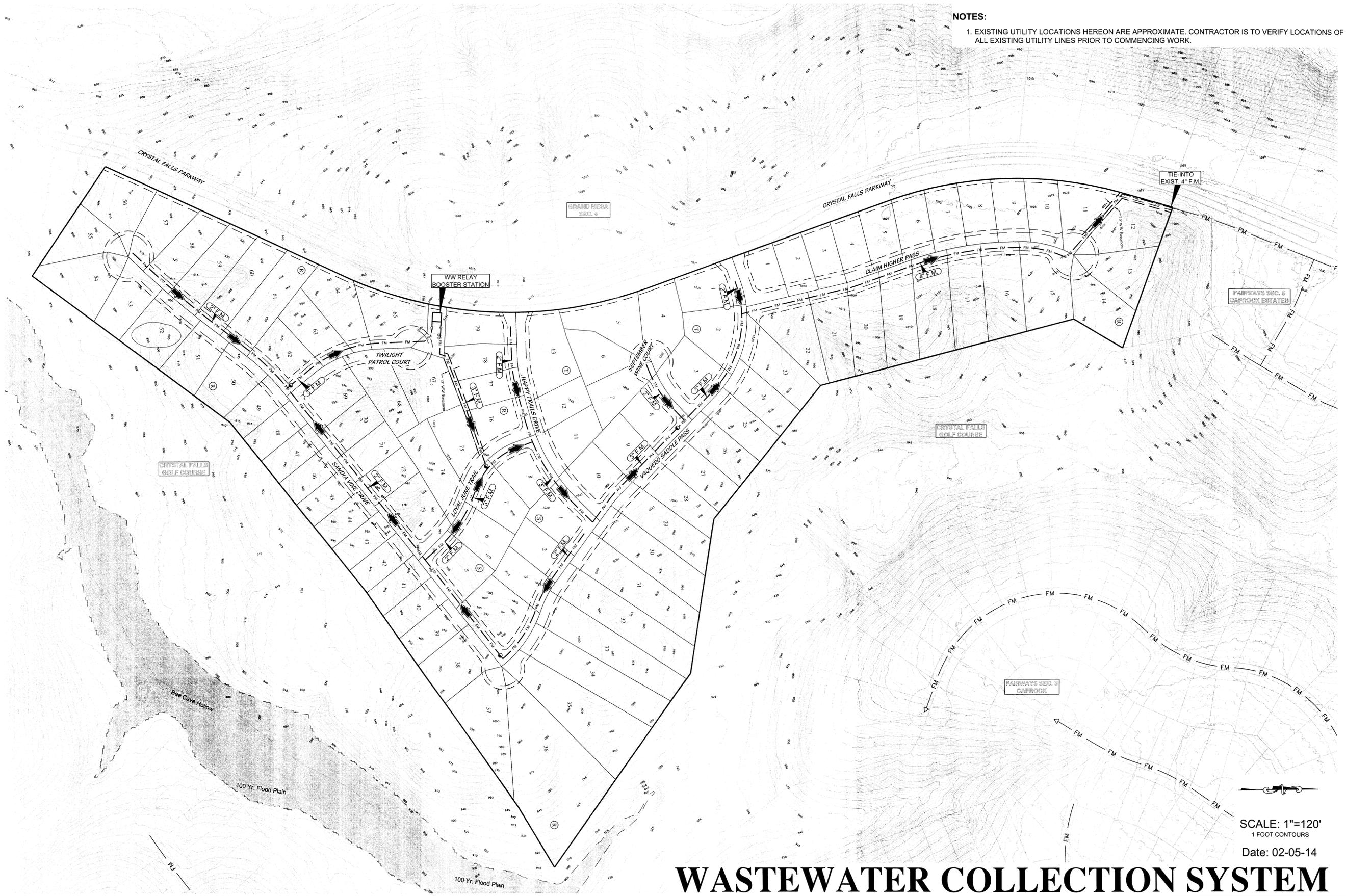
SECTION 6 PRELIMINARY PLAT REVISION 2

IN THE CITY OF LEANDER, TRAVIS COUNTY & WILLIAMSON COUNTY, TEXAS



NOTES:

1. EXISTING UTILITY LOCATIONS HEREON ARE APPROXIMATE. CONTRACTOR IS TO VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO COMMENCING WORK.



SCALE: 1"=120'
1 FOOT CONTOURS
Date: 02-05-14

WASTEWATER COLLECTION SYSTEM

JACO
Jay Engineering Company, Inc.
P.O. Box 1120
Leander, TX 78646-1120
Tel: (512) 255-3882 Fax: (512) 259-8016
Texas Registered Engineering Firm F-4780

Section 6 Preliminary Plat Revision 2
WASTEWATER COLLECTION SYSTEM

THE LOOKOUT GROUP
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DWG. NO. AS NOTED JOB NO. 157-053-20

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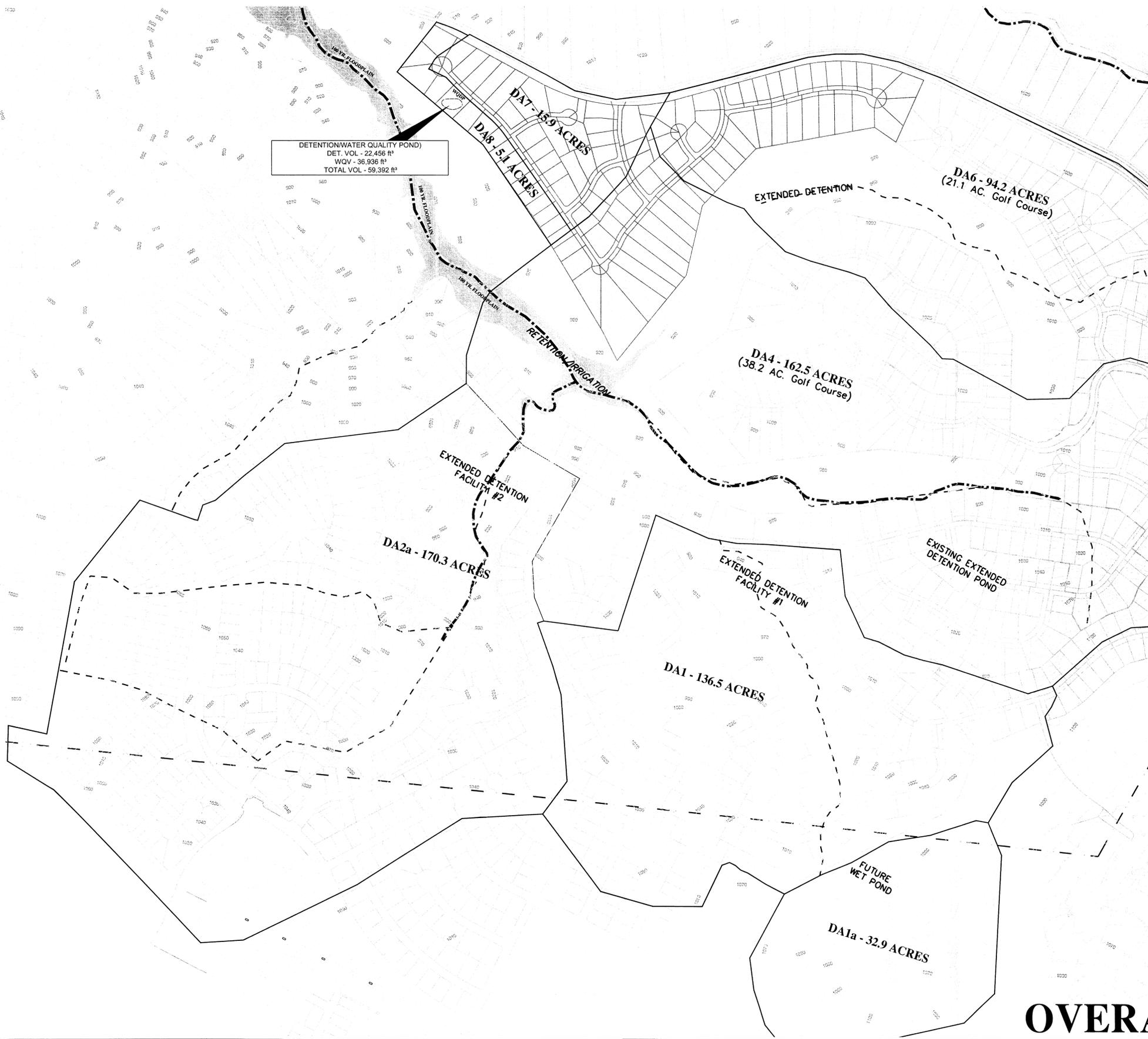
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THE FAIRWAYS @ CRYSTAL FALLS

SECTION 6 PRELIMINARY PLAT REVISION 2

IN THE CITY OF LEANDER, TRAVIS COUNTY & WILLIAMSON COUNTY, TEXAS



DETENTION WATER QUALITY POND
 DET. VOL - 22,456 ft³
 WQV - 36,936 ft³
 TOTAL VOL - 59,392 ft³

NOTES:

- PROPOSED DETENTION POND WILL MAINTAIN FLOWS AT OR BELOW EXISTING LEVELS FOR THE 2, 10, 25 AND 100 YEAR STORMS.

| BLUFFS/FAIRWAYS (DA1) | | DETENTION DESIGN FOR | | 100 YEAR FREQUENCY STORM | |
|---|--------------------------|--|--------------------------------|--------------------------|--|
| Cp | 0.68 | proposed runoff coefficient | | 2 year storm: | 25 year storm: |
| Ap | 15.9 | acres | drainage area | a = 54.767 | a = 82.936 |
| Qa | 78 | cfs | Q allowable is Q existing | b = 11.051 | b = 10.746 |
| Tcp | 19.9 | minutes | proposed time of concentration | c = 0.8116 | c = 0.7634 |
| storm frequency | a | b | c | 5 year storm: | 100 year storm: |
| 100 | 118.3 | 13.185 | 0.7736 | a = 62.981 | a = 118.3 |
| | | | | b = 10.477 | b = 13.185 |
| | | | | c = 0.782 | c = 0.7736 |
| EQUATION USED: $[(td+b)^c + 1] / [a(td+b-c*td)] = 2Cp*Ap/Qallowable$ | | | | | |
| Initial Td | New Td | LHS | RHS | C.F. | |
| 30 | | 0.336443 | 0.277230769 | 0.824005 | a = 70.82 |
| | 24.72015702 | 0.2839625 | 0.277230769 | 0.976294 | b = 10.396 |
| | 24.13413228 | 0.2781879 | 0.277230769 | 0.996559 | c = 0.7725 |
| | 24.05109657 | 0.2773706 | 0.277230769 | 0.999496 | CRITICAL STORM DURATION BY THE MODIFIED RATIONAL METHOD Td = 24.05 min |
| Pond Storage Volume: EQUATION USED: $60^*Cp^*a/[(Td+b)^c] * Ap^*Td - [30^*Qa^*(Td+Tcp)]$ Sd = 9583.615611 ft ³ | | | | | |
| P180 | 6.87 | Precipitation Values in Austin, inches | | | |
| Ptd | 2.93 | Duration (min) | 2 yr | 5 yr | 10 yr |
| | | 5 | 0.54 | 0.64 | 0.72 |
| | | 10 | 0.9 | 1.08 | 1.21 |
| | | 15 | 1.15 | 1.4 | 1.58 |
| | | 30 | 1.62 | 2.03 | 2.31 |
| | | 60 | 2.07 | 2.69 | 3.1 |
| | | 120 | 2.45 | 3.32 | 3.9 |
| | | 180 | 2.64 | 3.68 | 4.37 |
| REQUIRED VOLUME | | 2 yr | 5 yr | 10 yr | 25 yr |
| Sr = Sd * P180 / Ptd | 22456.62 ft ³ | 1.43 | 1.78 | 2.02 | 2.38 |
| *EXISTING FLOW WAS DECREASED BY 7.7 cfs TO COMPENSATE FOR INCREASED FLOWS FROM FULL BUILD-OUT IN DA8 | | | | | |

| RATIONAL METHOD DRAINAGE SUMMARY | | | | | | | |
|---|-----------|-----------------------------|------|------|------|----------|-----------|
| FAIRWAYS AT CRYSTAL FALLS SECTION 6 PRELIM REVISION 2 | | | | | | | |
| Drainage Area ID | Area (ac) | Time of Concentration (min) | C1 | C25 | C100 | Q1 (cfs) | Q25 (cfs) |
| 7-Existing | 15.9 | 20.1 | 0.29 | 0.50 | 0.57 | 15.2 | 47.9 |
| 7-Developed | 15.9 | 20.7 | 0.37 | 0.61 | 0.69 | 19.2 | 58.3 |
| 8-Existing | 5.1 | 5.0 | 0.26 | 0.47 | 0.54 | 7.3 | 24.1 |
| 8-Developed | 5.1 | 5.0 | 0.34 | 0.58 | 0.66 | 9.4 | 30.0 |

SCALE: 1"=300'
 1 FOOT CONTOURS
 Date: 02-05-14

OVERALL DRAINAGE PLAN

Jay Engineering Company, Inc.
 P.O. Box 1220
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 Texas Registered Engineering Firm, F-4780



Section 6 Preliminary Plat Revision 2
OVERALL DRAINAGE PLAN

THE LOOKOUT GROUP
 SCALE: AS NOTED DWN: VDI DESIGN: SDK DATE: Feb 2014
 DWG. NO. AS NOTED JOB NO. 157-053-20

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